

PART D: DEVELOPMENT PERMIT AREA GUIDELINES

27. Centres



The General Intensive Multi-Family, Commercial and Light Industrial Development Permit Guidelines apply in addition to the following guidelines. The following guidelines pertaining to centre apply in areas shown on the map presented in Figure 20.

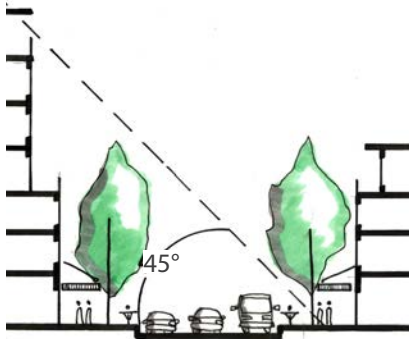
27.1 Building Siting and Orientation

- a. Create and maintain a residential-scale streetscape, with street-oriented entries.
- b. Modulate building façades at grade level to enable street activity such as browsing, outdoor cafes, street entertainment and to enable placement of seating and public art.
- c. Locate commercial and mixed-use buildings to the edge of the sidewalk and sited continuously and without breaks using a common set back or 'build to line'.
- d. New developments with buildings over 6 storeys in height will incorporate a base building at a scale similar to adjacent buildings, or as per area plan.
- e. Locate publicly oriented, active uses at grade and at the sidewalk edge.
- f. Site and orient multi-family residential buildings or residential uses within mixed-use centres to overlook public streets, parks, and walkways and private communal spaces.

- g. Ground-floor units are to be ground-oriented with unit entrances accessible from the street via a semi-private path.

27.2 Tall Buildings

- a. A point tower form is the preferred typology for tall buildings. Generally, a point tower is when the height of the shaft is three times the width of its base.
- b. Developments incorporating taller buildings must consider the adjacent urban context. Individual towers over 12 storeys in height are discouraged where adjacent existing or planned development is of a lower scale.
- c. Incorporate a base building at a scale complimentary to adjacent buildings. Site the primary façade of base building parallel to the street and front property line.
- d. The minimum step back of the taller building parts from the street edge of the base building will be 5 meters. Where possible, match the setback of tall buildings with adjacent properties.
- e. Articulate the uppermost floors of tall buildings to achieve a distinct skyline profile. When siting several tall buildings, site buildings and ensure overall height variation to create a distinctive “City Crown” towards the mid-point of the centre. This is also intended to accentuate the natural topography.
- f. The minimum base building height will be 2 storeys to a maximum of 6 storeys or as calculated within a 45 degree angular plane, taken from the curb.
- g. On a corner site, the base building will be massed to respect the prevailing height of the base building and setback on both streets, but the higher height limit will govern in order to give the building a degree of prominence.
- h. Limit the visual building mass of façades to lengths of approximately 40 m or less. Exceeding this length will be considered in mixed use and commercial areas and where buildings can be designed to incorporate a substantial and functional public or semi-private setback from the main building façade.
- i. The middle tower portion of tall buildings will have a maximum plate of 25 metres x 25 metres to reduce the visual bulk of the building. Larger floor plates will be considered if it architectural features address concerns about bulk.
- j. The tower portion of tall buildings will have a minimum spatial separation of 30 metres from tower to tower to allow for natural



light, to lessen micro-climate effects and to allow for privacy. This is measured perpendicularly from building face to building face, at the widest tower width.

- k. Incorporate artistic details in roof lines and pitches, façade fenestration and materials in the building or base massing of taller buildings. Reflect the base massing of the adjacent buildings when consistent with other guidelines and policy.
- l. Integrate ground floor uses that are consistent with neighbouring buildings.

On a corner site the base building is set back on both streets.

Uppermost floors are articulated to achieve a distinct skyline.

Buildings over 6 storeys in height incorporate a base building and a point tower form

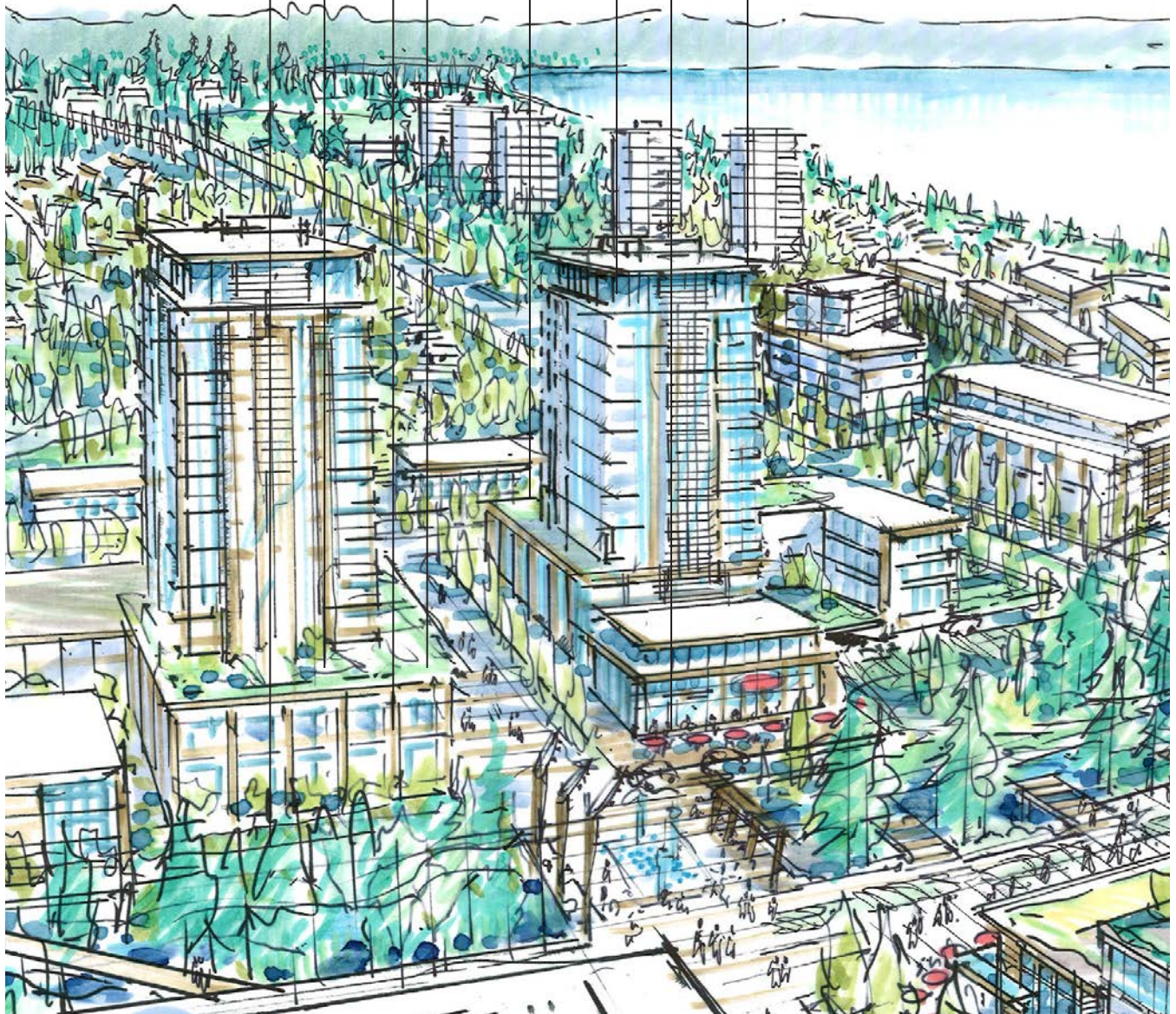
Entrances are street-oriented

Buildings have a common set back.

Tall buildings mark prominent locations in centres, such as open spaces.

Building façade modulation enables cafes and street entertainment, and publicly oriented uses are located at grade and at the sidewalk edge.

Maximum tower floor plate is 25 x 25 metres, and minimum tower separation is 30 metres.





An example of a substantial setback being used as a public plaza.

27.3 Setbacks

- a. The setbacks below are to serve as guidelines and inform initial site planning. Where there is a conflict between setback guidelines in this section and those specified in a specific area plan, the area plan guidelines shall prevail.

YARD/SETBACK GUIDELINES			
USE	FRONT	SIDE	REAR
Clustered housing, rowhousing or townhouses	2.0m of lot line along the principal street in the centre; up to 5m on secondary streets	Within 1.5m – 4.5m of any interior side lot line	Within 7.5m of any rear lot line
Multi-Family Residential & Mixed Use Residential Commercial	2.0m -4.5m	3m – 7.5m of any interior side lot line or a distance equal to 0.6 multiplied by the building height, whichever is less.	Within 3m – 10m of any rear lot line
Commercial, including Office, & Institutional	2.0m of lot line	Within 6m or more to form an interior courtyard	Within 10m of any rear lot line

27.4 Micro-Climate and Shadowing

- a. Step back taller building forms (over 12 storeys) from the base building at several locations to reduce downward wind flow. For building components that are stepped back, locate the main building shaft away from the street to reduce the amount of shadow cast and increase sky view from the street. Landscape base building roof areas to reduce wind speeds at grade.
- b. For tall buildings, use middle shafts with small floor plates since they have the least impact on shadowing, winds and views.
- c. Use horizontal canopies on the windward face of base buildings to minimize downward wind flow.

27.5 Solar Access and Views

- a. Use taller buildings to both accentuate and/or mark prominent locations within a centre’s landscape such as a terminating site, corner site, or site that frames open space.
- b. Development will compliment and enhance strategic city views.
- c. Plan around views of historic environments, particularly regarding building height.

27.6 Safety, Security and Accessibility

- a. Provide for safety and privacy for each residential unit.
- b. Design entries to each ground-oriented residential unit to be:
 - i. visible to residents
 - ii. partly visible to passers-by (semi-private) according to the context
 - iii. made private by staggering or recessing them
 - iv. units adjacent to public roads should have their doors visible and accessible from that road;
 - v. exterior private use areas should be screened to provide for privacy
 - vi. setback from arterial roads should be 12m, to allow for screening
 - vii. designs for multi-family residential developments are expected to incorporate the basic principles of crime prevention through environmental design (CPTED).

Ground oriented unit entries are visible from the street and semi-private.

Development incorporates principles of crime prevention through environmental design.

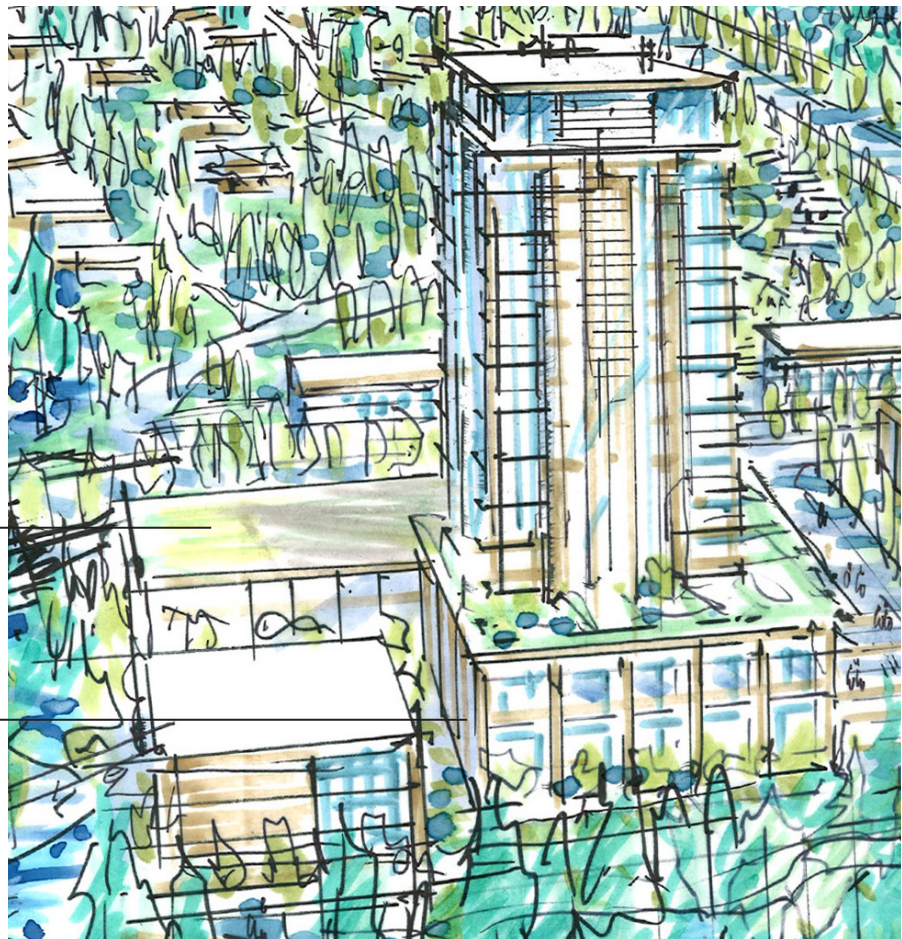


27.7 Scale and Massing

- a. Building scale and massing to be reflective of adjacent features or structures unless otherwise specified by area plan.
- b. In a mixed use project adjacent to a less intensive zone, site the more compatible use and building type near the edge.
- c. Where new more intensive uses are located adjacent to less intensive uses, ensure that scale and height of the new development respects the adjacent development, by transitioning the mass and scale and stepping-down towards the less intensive development, and stepping back to mirror the adjacent frontage.
- d. Provide minor visual breaks in the façade of large buildings to break up the building or base massing and help accentuate individual entrances and units and create variation and visual interest along the street. Strategies for breaking up the length of buildings can include, but are not limited to, the following:
 - i. Pedestrian courts located in between buildings adjacent to the sidewalk.
 - ii. Framed periodic openings to provide public views into private open space features.

Building scale and massing transitions towards less intensive adjacent uses.

A pedestrian court provides a visual break in the facade, as well as views into private open space features from the street.





Materials demonstrate durability and incorporate stone as a design element.

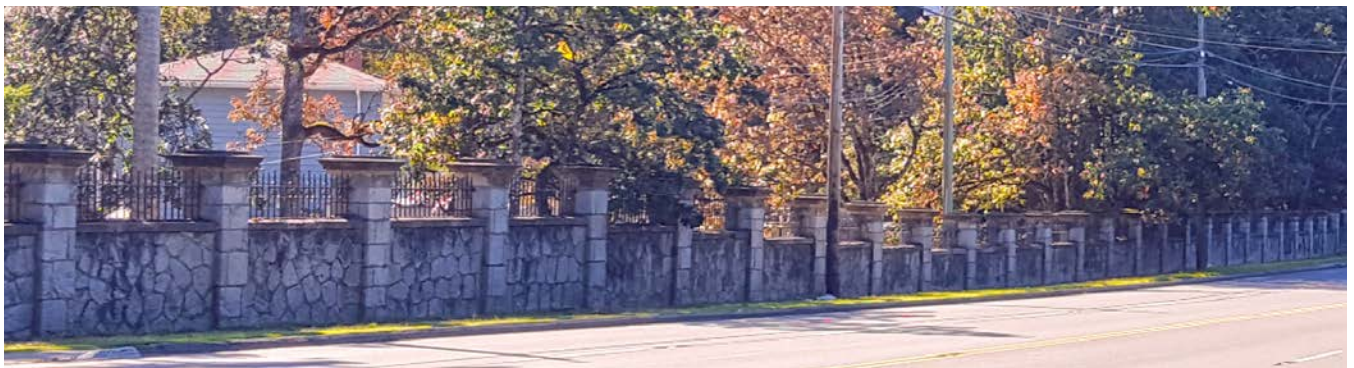
27.8 Exterior Finish and Architecture Features

- a. Demonstrate physical durability and weather performance of building materials and design.
- b. Use stone as a design element. Use ‘signature’ elements used at Hatley Park National Historic Site wherever possible.
- c. Integrate multi-level parkades within a structure if above grade. The exterior façade and site development of these structures will need to resemble non-parkade buildings.
- d. Treat all blank walls (e.g. walls without windows) with cladding that is complimentary to the cladding of the building and adds interests to the look and texture of the wall and building, or with a painted mural or other artwork, and that a sufficient setback be provided to enable some articulation of the wall, when the wall is likely to be exposed to public view.
- e. Incorporate adequate fenestration and decorative elements to minimize bulk where buildings face major access roads.
- f. Incorporate large front windows with substantive frames for commercial retail frontages.
- g. Enclose mechanical roof elements, including mechanical equipment, elevator housing and vents with sloped roofs or parapets, or other forms of solid screening.

27.9 Entrances

- a. Recess entry-ways to buildings slightly from the sidewalk or property line to emphasize the building entrance.
- b. Design public entryways and public interface functions to express a pedestrian scale.
- c. Incorporate lobbies with multiple access points where appropriate to enhance building access and connectivity with adjacent open spaces.

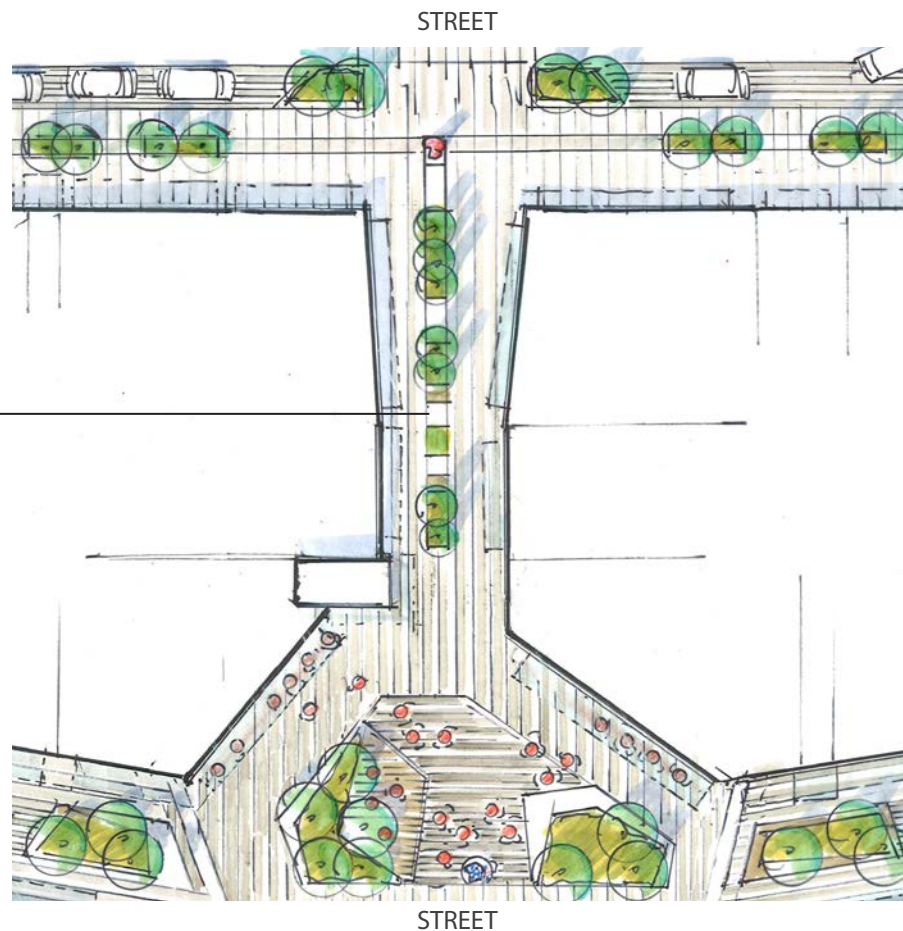
An example of the iconic rock wall surrounding Hatley Park National Historic Site on Sooke Road in Colwood.



27.10 Circulation and Access

- a. For development or re-development of large sites, incorporate a pattern of small blocks and an interconnected network of streets and pedestrian and bicycle pathways to provide direct and safe connections, for pedestrians and cyclists as well as drivers, to primary local destinations and centres.
- b. Organize automobile drop-off areas into the side and rear of development sites and provide through lobbies with access to the street and auto-drop-offs areas.
- c. Allow access from adjoining properties to at-grade parking areas and vehicle maneuvering aisles, secured by way of reciprocal access easement registered on title.
- d. Create blocks to be between 100 metres to 150 metres in length and should not exceed 180 metres in length. Break up large blocks by incorporating new streets and pedestrian/cyclist pathways that connect with existing streets and pedestrian / cyclist pathways in surrounding areas. Where large blocks are unavoidable, provide publicly accessible mid-block pedestrian and bicycle pathways.

A large block is broken up with pedestrian and cyclist pathways to adjacent streets and provide more direct connections.

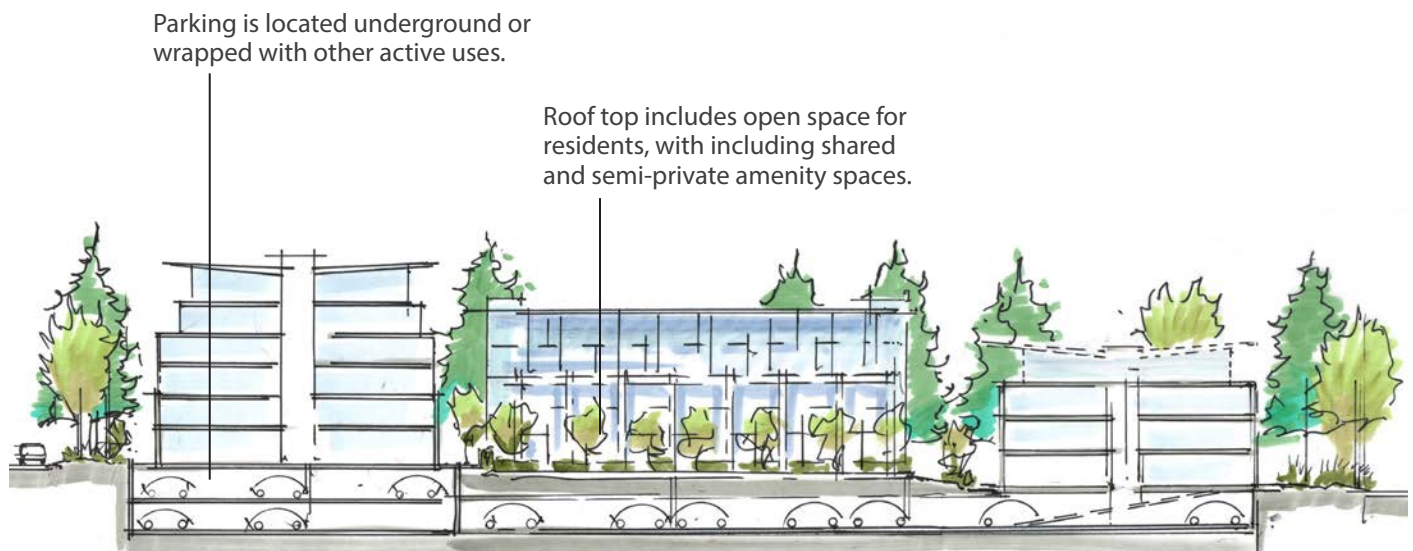


27.11 Parking

- a. Off-street parking for mixed-use and multi-unit residential buildings should be situated underground.
- b. Screen parking areas from sidewalks, public roads and other active open spaces using materials that provide a partial visual buffer to allow clear visibility into the parking areas to promote personal safety. Screening could include landscaping, a trellis, or grillwork with climbing vines.
- c. Avoid off-street surface parking in particular between the front face of a building and the public sidewalk.
- d. Integrate above-ground parking structures with the building design and have usable building space (e.g. shallow retail frontages) rather than parking facing the public realm.

27.12 Private Open Space and Amenity Areas

- a. Provide roof top open spaces including play areas, particularly for buildings where the site coverage is over 50%.
- b. Ensure upper story terraces open up onto roof top gardens to increase access to semi-private outdoor amenity space.



27.13 General Landscaping

- a. Encourage the use and planting of native trees and plant materials in all landscaped areas. Development must adhere to the Urban Forest Bylaw, in addition to the policies in Section 11: Park Areas and Natural Assets.
- b. Retain as many of existing trees and other natural features as is practicable, and augment with native species.
- c. Provide screening for residential privacy and security.
- d. Provide an effective screen at the time of planting.
- e. The setback shall include landscaping with vegetation including shrubs to separate commercial buildings or accessory buildings from adjacent land zoned for residential uses.
- f. For large retail complexes and free standing major stores, include substantial landscaping along all perimeter areas, except for the street front where a balance of pedestrian surfacing, shade trees, and planted areas to create a pedestrian oriented streetscape should be achieved. Other perimeter areas shall include planting of trees in clusters at several locations within the perimeter. Areas that are visible to public streets shall include perennials and shrubs.
- g. Include substantive landscape islands to break the expanse of parking areas. Heavily landscape parking lots for comfort and visual interest and to minimize heat gain caused by large contiguous paved surfaces. Provide rain gardens bio-swales, and permeable materials to absorb storm water and reduce irrigation needs.
- h. Use street tree canopies to help define and enclose streets, particularly where buildings do not. Where existing mature trees exist, an effort should be made to incorporate them into the development. Analysis of existing mature trees shall inform early site planning phases to optimize opportunities for preservation.

Screening is provided for residential privacy and security.

Existing trees are retained and augmented with native species.

