

26. Intensive Residential

26.1 Mailboxes



Intensive Residential guidelines apply to intensive residential development.

Intensive residential development includes:

- in hillside areas, detached dwellings on lots of any size;
- in all other areas, on lots smaller than 550 m² in area; and
- duplexes and attached housing (townhouse) in all areas.

26.1 Site Planning for Natural Site Characteristics

- a. Respond to significant natural topographic features and site buildings to take advantage of slope and minimize disruption of natural site features such as rock outcroppings or mature vegetation.
- b. Reflect characteristics consistent with the surrounding context as it relates to the orientation, scale, form, height, setbacks and materials proposed for a development. Sites in older neighbourhoods should be developed in a manner that improves the neighbourhood.
- c. Council may approve variances where the siting of buildings can be shown to lessen environmental impact.
- d. Buildings are to be designed to fit the natural site characteristics. Where a site is sloped, the proposed building or small lot house should be split level or use other means to avoid altering the existing

- topography or major reworking of the existing grades.
- e. Where development is adjacent to a public open space:
 - i. The open space edge should create design conditions that include the street within the visual realm of the park.
 - ii. As a modification to standard streetscape locational requirements, the open space edge landscape treatment of natural parks and open space areas may extend into the area between the curb and property line.
 - iii. Street tree planting at open space edges may be less structured than the standard treatment.
 - iv. The standard sidewalk treatment may be substituted with a bicycle or walking path.
 - v. Standard locational requirements for street furniture and street lighting may be modified at the open space edge condition to create a more park-like character and setting.

26.2 Building Siting and Orientation

- a. Reverse or double-fronting will only be considered where lots have a 10m or more landscape leave area, or where there is a change of grade of over 2m in the rear yards adjacent to the street. Avoid a walled-street condition. This may create movement predictors or entrapment areas.
- b. Buildings on corner lots should have front and exterior side elevations that are consistent in architectural character. Architectural character includes items such as building materials, roof lines, windows and door treatments.
- c. Orient buildings towards and frame public streets and open spaces to create a sense of enclosure, street vitality and safety, and to generally enhance the visual quality and character of development.
- d. All ground-floor units are to be ground-oriented with individual entries to the outside rather than through an internal, shared corridor.
- e. Ensure that ground-oriented units are facing the street or, in the case of multiplexes, allow side entrances with paths that have direct access to the public walkway and include signage to clearly indicate the location of rear or side streets. For street-facing units, front doors need to be visible, not more than 1.3m behind the front building line,

Units are ground-oriented with private entrances.

Building is oriented towards and framing the public street.

Units located to the rear are provided with direct pedestrian access to the public sidewalk.



and entry porches – if they are present – extend a minimum of 0.6m forward of a front building line.

- f. In areas of transition, Council will consider the proposed future uses of adjacent properties in assessing the compatibility of proposed developments in neighbourhoods.
- g. For attached or mixed-types of housing, cluster development on the site such that there are varying numbers of units per townhouse block where townhouse blocks form three or more attached units.
- h. The maximum number of contiguous townhouse units is eight.
- i. Town houses are to express individual units through architectural massing or materials, such as varied step backs, varied roof lines, or distinct colours.
- j. For ground-oriented units, orient kitchen area workspace to street or usable open space; orient central living areas to outdoor spaces or views.

Architecture expressed individual units through varied step backs and rooflines.

Maximum number of contiguous townhouse units is eight.



- k. If a building is on a corner lot, present an active front, including window and entrances, on all visible street frontages; and, locate driveways on the minor roadway.
- l. For duplexes, both residential units face the street with a minimum 4.5 m (14.8 ft) habitable area of wall frontage.
- m. Side-by-side units are preferred over front-back units. Where side-by-side units are not possible due to limited site width, the unit at the front of the property must be oriented towards and face the public street with the entrance and pedestrian pathway connecting to the public sidewalk.

Side-by-side units are preferred.



When units are oriented as front-to-back, the unit at the front of the property is oriented towards and frames the public street, with the entrance and pedestrian pathway connecting to the public sidewalk.



26.3 Two Buildings on the Same Building Strata Plan Guidelines

- a. No part of a residential building within a building strata plan may be sited directly behind another residential building in the same building strata plan, as defined as within any part of a rectangular area that extends perpendicularly from the rear building face of a residential building to the rear lot line.
- b. No part of a residential building within a strata plan may be sited within either triangular area bounded by a line extending 45 m (148 ft) perpendicularly from the rear building face of another building within the same building strata plan and a line extending 63.6 m (209 ft) along a 45 degree angle from the rear corner of another building within the same building strata plan, as illustrated.
- c. Where two buildings form part of the same building strata plan, the distance between the two residential buildings must not be less than 6 m (20 ft).
- d. Where a residential building forms part of a building strata plan on a property greater than 0.8 ha (2 acres) in area, the size of that building's footprint must not exceed 242 m² (2 600 ft²) of gross floor area.
- e. Where a residential building forms part of a building strata plan on a property of 0.8 ha (2 acres) or less in area, the size of that building must not exceed 186 m² (2 000 ft²) of gross floor area.
- f. Where two residential buildings form part of the same building strata plan, the gross floor area of one building may not be less than 85% of the gross floor area of the other building within that building strata plan.
- g. Where two buildings form part of the same building strata plan, no building that forms part of that strata plan may have a width or depth less than 9.7 m (32 ft).
- h. Notwithstanding any other design guideline in this section, where two residential buildings form part of the same building strata plan on a lot of less than 0.8 ha (2 acres), the physical separation between the two buildings must be sufficient to allow a 3 m (10 ft) wide driveway to be located between the two buildings.
- i. Where two residential buildings form part of the same building strata plan on a lot of less than 0.8 ha (2 acres), the setback from any interior side lot line may be reduced to 1.2 m (4 ft).

- j. Notwithstanding any other design guideline in this section, where two residential buildings form part of the same building strata plan on a lot of less than 0.8 ha (2 acres), the front width of any one building may not be less than 85% of the front width of the other building within that strata plan.
- k. Where a rear facade of the secondary building may face the rear yards of adjacent residences, careful attention should be given to maintaining privacy for the neighbours and new residents, and to preventing the overshadowing of existing yards.

26.4 Secondary Suites

- a. For existing buildings, when adding a secondary suite, minimize exterior changes on the front facade.
- b. For existing buildings, when adding windows and/or doors, match or complement the design and style of the existing windows and doors.
- c. Minimize additional paving, consider permeable paving, and optimize landscaped areas.
- d. Screen and landscape parking space(s) to minimize the amount of light and noise that may spill over to adjacent properties.
- e. Provide private outdoor space for the secondary suite that is separate from the principal unit.
- f. If the entrance to the secondary suite is located on the side or rear of the house, provide a walkway to the secondary suite entrance.
- g. If the entrance is immediately adjacent to the parking area, delineate the entrance with planters or other landscape features to provide visual relief and a clear separation from the parking area.
- h. Provide low-glare outdoor lighting beside or above the suite entry door as well as the walkway, to enhance security and to help identify the entrance to the suite.

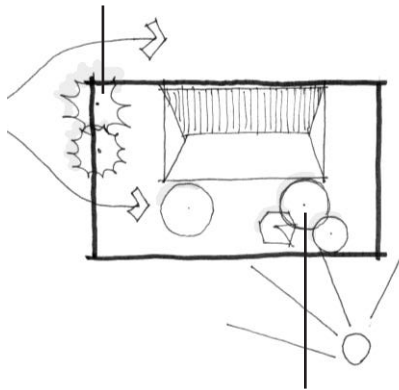
26.5 Setbacks

- a. The setbacks below are to serve as guidelines and should inform initial site planning. Where there is conflict between the setback guidelines in this section and those specified in a specific area plan, the area plan guidelines shall prevail.

YARD/SETBACK GUIDELINES			
USE	FRONT	SIDE	REAR
Clustered housing, attached, or small lot lands	6m of lot line	1.5m – 4.5m of any interior side lot line	6m – 7.5m of any rear lot line
Multi-Family Residential	4.5 - 7.5m of lot line	3m or a distance equal to 0.6 multiplied by the building height, whichever is less.	3m – 10m of any rear lot line

- b. The City will consider variances where the siting of buildings can be shown to lessen environmental impact, and for irregularly shaped lots.
- c. Relaxation of setback requirements may be considered to facilitate innovative design solutions, provided that the encroachment into the setback does not adversely affect the privacy, sunlight or views of the adjacent property, nor restrain potential of the adjacent property for future development.
- d. Reduce building setback or setbacks where this would improve the relationship between a building and an access route or public road.
- e. Where the Planning Director is satisfied that a reduction in a setback does not have significant impacts on adjacent properties, impacts may be mitigated through screening and grade differentiation.
- f. A minimum 1m (3.3 ft) setback occurs between the side of the building and any environmentally protected areas.
- g. For duplexes, developments must provide a minimum 3.7 m (12 ft) side yard setback. The exceptions are in the case of corner lots, and when all parking is provided within the building.

Coniferous trees to block wind



Deciduous trees on the south for summer shade and winter sun.

26.6 Micro-Climature, Shadowing, Solar Access and Views

- a. Site and design buildings to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings and private open spaces.
- b. Site buildings to minimize blocking views and solar access from existing or anticipated development, and ensure that shadowing impacts on adjacent buildings and useable open spaces are minimized.
- c. Define distant view corridors (e.g. to the Strait of Juan de Fuca) with 'leave' areas (unrestricted height areas for buildings and vegetation) and height managed areas within corridors.
- d. Maintain and enhance existing views or vistas from the site where possible.
- e. Define gateways or 'arrival points' with built form, existing natural features and/or significant landscape treatment coordinated with the overall perimeter landscape design.
- f. At points where views terminate, locate prominent landscape and architectural features to act as orientation landmarks.
- g. Where heritage features exist, they should become prominent landmarks and may be surrounded with development of a similar or complementary architectural character.
- h. Locate public utilities so that they do not interrupt views.
- i. Orient new development so that a majority of primary living spaces receive direct sunlight for daytime hours.
- j. Site single aspect dwellings (dwelling units with exterior access on one side) to take advantage of sun. Wider frontages with shallow floor plans to allow adequate penetration of daylight are encouraged.
- k. Maximize the number of dwellings with a choice of aspect, either front and back, or on two sides for corner units.
- l. Ensure landscaping and building design allow penetration of sunlight in winter, and shading of afternoon sun in summer to take advantage of passive cooling or solar heating.



Pathways connect dwellings on site with adjacent public sidewalks. Landscaping, overhangs and porches maintain a sense of privacy for adjacent units. Image: U.S. Department of Housing and Urban Development.

26.7 Safety, Security and Accessibility

- a. Provide for the safety and privacy for each residential unit, including by staggering windows and providing screening.
- b. Ensure entries to ground-floor units are ground-oriented, and are:
 - i. Made unique by staggering or recessing them;
 - ii. Connected to public sidewalks with a walking path;
 - iii. Units adjacent to public roads should have their doors visible and accessible from that road;
 - iv. Exterior private use areas should be screened with low fence or shrubs growing up to 1.2m, or with trees limbed up to 2m to provide for privacy as well as eyes on the street;
 - v. Designs for multi-family residential developments are expected to incorporate the basic principles of crime prevention through environmental design (CPTED); and pedestrian circulation.
- c. Ensure new multi-family residential developments are:
 - i. Designed to ensure safe and convenient routes for residents;
 - ii. Provide a trail link between housing clusters within a project;
 - iii. Provide trail links to the larger neighbourhood in a manner that does not compromise the safety and privacy of the development;
 - iv. Provide on-site pedestrian circulation which forms a network connecting dwellings to parking and common areas; and
 - v. Provide pedestrian pathways that are constructed to a width and tread standard which meet the needs of the user.

Each unit has its own unique entrance connected to the public sidewalk with a walking path.

Units adjacent to the public street have doors visible and accessible from that street.

Private use areas are screened with a low shrub.





Entrances to ground-floor units are ground-oriented, and visible and accessible from the street. Exterior private use areas are screened with a low wall and vegetation for privacy.

26.8 Energy Efficiency

- a. See General Multi-Family, Commercial and Light Industrial Development Permit Guidelines.
- b. Consider green roofs a low priority as the project size decreases.

26.9 Scale, Mass and Built Form Transition

- a. In order to create a good fit with adjacent uses, the scale and height of infill development needs to be the same or create a transition to adjacent houses. This can be achieved through transition in architectural massing or through landscaping.
- b. Create visual interest by providing variations in height, rooflines and massing.
- c. Avoid long continuous façade frontage and respect the rhythm of the existing streetscape.
- d. Provide visual interest by façade articulation.
- e. All units at grade are to be ground-oriented.
- f. Ensure articulation of building faces with features such as balconies, porticoes, bay windows, and changes in setback at upper storeys.
- g. For small lot buildings:
 - i. Avoid repetition in design. Within any group of three adjacent dwellings avoid the duplication of building height, roof shape or pitch, porch design, fenestration or finishing materials.
 - ii. Articulate the form of houses on corner lots to address each street frontage. Include elements like porches and windows.
 - iii. Side yard variances for a minimum of 50% of the elevation may be acceptable. Use natural topography to develop harmonious transition with the built form of adjacent properties unless this would require a retaining wall exceeding 2.5 m. Note that for retaining walls over 1.2 metres (4 feet) the City of Colwood Retaining Wall Regulations apply.

Variation in roofline, height and massing create visual interest and create a transition in architectural massing to the adjacent houses.

Upper storeys are articulated with balconies.

Ground-floor units are ground-oriented.



26.10 Exterior Finish and Architecture Features



Architectural detail and significant fenestration create residential character in this house-plex.



Roofline variation creates visual interest, and distinguishes between individual units.

- a. Create a well-proportioned, human-scaled, and unified building form that exhibit an overall architectural concept that responds to the established architectural concept through building design elements, details, and materials.
- b. Ensure a residential character through:
 - i. Sloping roof lines;
 - ii. Shielded mechanical equipment;
 - iii. Variations in windows;
 - iv. Window and door trim or casings;
 - v. Porches and verandas;
 - vi. Dormers and gables;
 - vii. Belt courses;
 - viii. Bargeboards, fascia, soffits, trim, broad overhanging eaves;
 - ix. Variations in finishing materials;
 - x. Variations in façade colour, texture and pattern; or
 - xi. Local materials such as wood and rock as a façade treatment and as an element in freestanding signage.
- c. Select building materials based upon the following considerations:
 - i. Materials are to be compatible with and enhance surrounding development, topography and natural features;
 - ii. Materials are to include recycled, non-toxic building materials;
 - iii. No fewer than two and no more than five building materials are to be used on any one elevation of the building;
 - iv. Convey an image of quality, durability, and performance with building materials;
 - v. Suitable primary accent materials include heavy wood timber, rock, and stone;
 - vi. When using stone or rock accents, these appear as a supporting element to the primary mass and entryway.
- d. Treat all blank walls (e.g. those walls without fenestration) with cladding that is complimentary to the cladding of the building and adds interest to the look and texture of the wall and building, or with a painted mural or other artwork. Also provide sufficient setback to enable some articulation of the wall, when the wall is likely to be exposed to public view.
- e. Provide sheltered front porches.
- f. Avoid mirror image housing units unless each unit has a significant amount of fenestration and architectural detail.
- g. For small lot buildings, ensure designs achieve harmony among single-detached homes in a neighbourhood by providing:

- vii. A balance of visual continuity with distinctive elements.
- viii. Enhanced visual interest, without juxtaposition in any one unit of more than one design theme.
- ix. One or more design themes (e.g., traditional Edwardian, Arts and Crafts, traditional or contemporary West Coast) in a subdivision may be appropriate provided they are complementary.
- x. Design façades such that:
 - The front door(s) have prominence in the streetscape;
 - There is a balance of horizontal and vertical elements;
 - Porches, verandas and balconies are amply proportioned so as to be functional for use by the residents (i.e., they are wide enough to accommodate seating).
- h. Where attached or detached garages are provided design them for minimal visual prominence on the street, such that garage doors integrate into the overall design of the home and create visual interest with trim and decorative accents, window transoms or other elements to break up the mass.

Attached garages are integrated into the overall design, with decorative accents, and located below and behind front porches to make them visually less prominent on the street.

Sheltered and elevated front porches enhance visual interest and provide entrances with prominence on the street.

Sloping roof lines, porches, and variations in facade colour, texture and pattern create a well proportioned human scale.



26.11 Private Open Space and Amenity Areas

- a. Provide landscape enclosures such as garden walls, fences and hedges on the exterior side yard of corner lots (or on the front yard, depending on the orientation of the main front entrance). Walls and fences are to be low (1.2 metres maximum) to provide privacy as well as 'eyes-on-the-street'.
- b. Ensure a minimum area of private outdoor space per unit which is not less than 3m in width and not less than 10 m² in area. Notwithstanding this guideline, not less than 5 percent of a lot, in a ground-oriented development, shall be developed as useable open space.
- c. In family oriented developments, useable open space should average more than 3m² for each bedroom with a minimum of 100m² required for all multi-family residential developments.
- d. Connect all common open space to public walkways and ensure separation from both vehicular traffic and parking.
- e. Situate all common space in an area which allows for sunlight penetration. Locate the primary private open space on the sunny side of the building, either to the south or to the west where possible.
- f. Consolidate all common space in one compact, non-linear and functional area, preferably in a central location and away from the periphery of the site.
- g. Where play equipment is provided in common areas, the equipment must conform to current safety standards.
- h. Provide landscape enclosures to define the semi-private open space of each ground oriented unit. Walls, fences and shrubs are to be low (1.2 metres maximum) to provide privacy without blocking views.
- i. Provide carriage houses with private open space. Locate garden areas to optimize solar exposure.

Private open space is provided for the carriage house.

Each unit has a semi-private open space that is defined by a low hedge or low fence.

Common open space is connected to the public sidewalk with a walkway and is in a functional and central location.



26.12 Circulation and Access

- a. In addition to the following guidelines, the General Intensive Multi-Family, Commercial and Light Industrial - Safety, Security and Accessibility guidelines apply.
- b. Ensure that access for vehicles is separated from pedestrian walkways, provides safe separation distances from nearby road junctions and does not encourage left turns onto or from roads of a collector status or higher where alternatives are available.
- c. Unless unavoidable, create rear access for vehicles and leave front access for pedestrians only.
- d. Ensure that on-site roadways provide safe and convenient access for emergency vehicles, moving vans and service vehicles.
- e. Create blocks to be between 100 metres to 150 metres in length and not exceeding 180 metres in length. Large blocks should be broken up into smaller blocks by incorporating new streets and pedestrian / cyclist pathways that connect with existing streets and pedestrian / cyclist pathways in surrounding areas. Where large blocks are unavoidable, provide publicly accessible mid-block pedestrian and bicycle pathways.
- f. Avoid cul-de-sacs, unless a through connection would compromise natural site features.
- g. Avoid cul-de-sacs and other physical barriers to pedestrian and cyclist movement. Where cul-de-sacs are incorporated, include a pedestrian or bicycle through connection; or, where a development site is proposed on the terminus of the cul-de-sac, an easement or public right of way dedication should be sought.

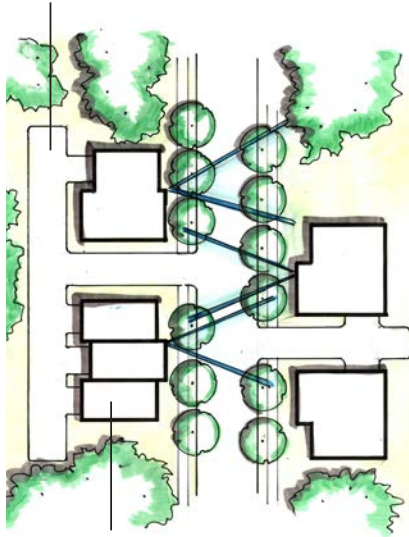
Vehicle access for multiple units is consolidated into one driveway to minimize curb cuts across the public sidewalk.

The front is left for pedestrian access only.

Pedestrian and vehicle access is separated.



Parking is located to the rear.



Development is clustered and shares driveway

26.13 Parking

- a. Locate surface parking to the rear or side of buildings.
- b. In small lot developments without rear or side parking access, the garage door and its immediate surround should be visually interesting. Detailing such as plant shelf recesses flanking the door or setting the garage facade back from the rest of the house will lessen its visual impact.
- c. Provide accessible parking for residents and visitors with convenient access to building entries.
- d. Ensure clear lines of sight from access points to parking areas to enable casual surveillance and safety.
- e. Landscape the perimeter of resident and visitor parking using grass or similar permeable surfaces.
- f. Finish strata driveways in townhouse developments to a standard similar to municipal roads, and include curbs, sidewalks, boulevards, and street trees.
- g. When parking for recreation vehicles is provided, locate it in low traffic areas at the back of the development, and screen it with vegetation.
- h. Cluster developments and minimize roads. For multi-unit developments, a central consolidated/ shared parking area are encouraged, with pedestrian paths connecting to individual units.
- i. Provide safe and secure indoor and outdoor storage facilities for bicycles.
- j. Council may approve variances for reductions in the number of required accessible parking spaces in multi-family residential developments where the building form is that of townhouses, and each individual dwelling unit has its own driveway and parking area.
- k. Minimize the number of driveway accesses through shared or rear access particularly along collector roads

Surface parking is located to the rear and side, and with convenient access to building entries.

Developments are clustered and shared driveway and parking area provided.

Parking areas and driveway is finished with permeable paving.



- l. No more than 40% of the front yard may be hard surfaced, including driveways.
- m. Hard surfacing at the front property line shall not extend beyond 6m in width.
- n. Hard surfacing pedestrian paths must maintain a separation of at least 1m from hard surfacing for parking and driveways.

Walking and cycling connection from cul-de-sac to adjacent streets and open space.



Through block walking and cycling connection.

26.14 Pedestrian Environment

- a. Provide pedestrian rights-of-way between streets or streets and open spaces when topography or other difficulties limit street connections.
- b. Pedestrian routes should be designed for safety and security and provide a clear sight line from entrance to exit.
- c. Standard sidewalk treatment may be substituted with a bicycle or walking path.
- d. Contribute to the pedestrian environment by providing links along streets, and to parks and open spaces.
- e. The standard streetscape may be modified on one or both sides in order to avoid disturbance of existing trees, in order to achieve an enhanced open space edge condition or in order to match an established streetscape in an area of significant character.
- f. A more scenic character is encouraged for streets adjacent to public parks. These streetscapes should visually connect park spaces.
- g. Street trees may be selected to represent tree species in the open spaces that they connect. Select trees with seasonal interest.
- h. The edge treatment of the right of way should be consistent for the length of the street block.
- i. Provide a landscaped planting strip for groundcovers and shrubs in the setback area at the property line.
- j. Include pedestrian connections on-site and to City sidewalks, including:
 - i. Links to the larger neighbourhood in a manner that does not compromise the safety and privacy of the development;
 - ii. On-site pedestrian circulation which forms a network connecting dwellings to parking and common areas; and
 - iii. Ensure that these links are constructed to a width and tread standard which meet the needs of the user.
- k. Provide zebra or ladder painted crosswalks, or crosswalks made of special paving materials, at all pedestrian crossings to increase driver awareness.

- l. Where appropriate, provide corner bus bulges along sidewalks and into the streetscape design to enhance pedestrian crossings and provide space for landscaping, seating and public art. Provide distinctive bus shelters for the comfort of transit users.
- m. Provide high quality public streetscape amenities including benches, planters, garbage receptacles, bike racks, and bus shelters.



Street trees have seasonal interest

A distinct bus shelter provides comfort for transit users.

A landscaped planting strip for shrubs and groundcovers is provided in the setback.

Links to City sidewalks connect on-site pedestrian circulation and dwellings.



Example of a laneway with vegetated visual breaks between driveways and permeable pavers defining the pedestrian walkways to the main entrance.

26.15 Landscape Character Guidelines

- a. Provide screening to protect the privacy of occupants of adjacent properties as well as the residents of the development.
- b. Ensure that an effective screen is provided at the time of planting.
- c. Setbacks may be landscaped and shall be provided to separate multifamily residential buildings or accessory buildings from adjacent land zoned for single-detached residential use.
- d. Use plant species which are drought resistant.
- e. Provide low-height vegetation between adjacent driveways to mitigate the visual impact of paved surfaces.
- f. Provide vegetation between 40cm high to 1 metre high between adjacent driveways to mitigate the visual impact of paved surfaces. Columnar trees or trees that are limbed up to provide clear sight lines below 2m are also encouraged.
- g. Use permeable paving, concrete unit pavers, coloured or patterned materials for front access driveways.
- h. Ensure fencing is visually permeable and, along front and exterior setbacks, is no more than 1.2 m (4 ft) in height, using materials such as: metal post and rail, picket, wooden rail, and split wood.
- i. Fencing on any other lot line should be no more than 1.8 m (6 ft) in height.
- j. Plant street trees along the road frontage or right of way after construction of house and driveway (spacing and variety of trees to the approval of the City Engineer).
- k. Ensure retaining walls meet the City of Colwood Retaining Wall Regulations.
- l. Landscape 20% of the portion of each lot, which is not covered by driveway and building with living materials other than lawn and gravel.
- m. Two hard surfacing materials must be used in cases where the width of the parking areas is greater than 4m, and one should be permeable, e.g. permeable pavers.

A landscape screen protects the privacy of adjacent properties and the development.

Fencing is low in height.

Driveway includes a combination of pavers and lawn for permeability.

Street trees are provided.



26.16 Mailboxes

- a. Cluster mailboxes at neighbourhood centres. Provide a building or shelter with architectural character to match the development. Where a central location is not possible, locate mailboxes adjacent to other compatible uses such as programmed recreational facilities (e.g. play structures, bike parking).
- b. Where conditions only allow freestanding community mailboxes, there should be no more than two together. They should not be located at an inside or outside street corner, at the end of 'T' intersections, or at the front yard of an individual lot.
- c. Use landscape to screen the visual impact of the mailbox.
- d. Community mailbox locations at major open space edges are to be avoided. Garbage and recycling containers should be provided at mailbox locations.

26.17 Signage

- a. See General Multi-Family, Commercial and Light Industrial Development Permit Guidelines.

26.18 Lighting

- a. Ensure building and site lighting is designed to minimize the illumination of adjacent properties and the affect of lighting on the night sky. Control the quantity, quality and direction of night lighting.
- b. Provide electrical service at some poles to accommodate temporary or seasonal decorative lighting installations.
- c. Use energy-efficient lighting for building exteriors and for exterior walkways, driveways, entryways and general exterior lighting. Use solar-powered lighting systems.

26.19 Utilities

- a. Provide containers for garbage collection and recycling. Screen items from view and locate in a safe and convenient location on-site.
- b. Provide full services on streets fronting and flanking the site, including the provision and/or upgrading of sidewalks and pavements, street trees and street lighting;
- c. Provide all services by way of underground wiring (electrical, telephone and cable television).
- d. Large utility buildings are subject to the same guidelines as the adjacent buildings.
- e. Locate utilities' cabinets or pedestals in lanes or lot flankages wherever possible; incorporate with street furniture or artistic elements.
- f. Avoid locating utility cabinets or pedestals at intersections, on streets in areas of significant character or on the open space side of streets. Avoid locating utility cabinets or pedestals at the end of 'T' intersections.

26.20 Stormwater Management

- a. See General Multi-Family, Commercial and Light Industrial Development Permit Guidelines.