



Above: late afternoon sun filters through the canopy of trees on the east side cottages of Seafield Rd. Colour schemes for the proposed cottages are from Benjamin Moore Historical Palette.

SEAFIELD  COTTAGES

Near The Lagoon, Colwood, BC

Seafield Cottages Rezoning Application
Supplemental Information (2)

March 18th, 2014

Updated Master Plan

March 18, 2014

Lot size: 336sm (typical)
 Lot Width: 11.25m (36.9')
 Side setbacks: 1.5m (5') and 1.82m (6')
 Rear setback (min): 7.62m (25')
 Front Setback (min): 5.5m (19')

Trees to be located on mini 'boulevards' separated only by road width of 6m. These tree locations are intended to accelerate and enhance the creating of a canopy over Seafield Rd.

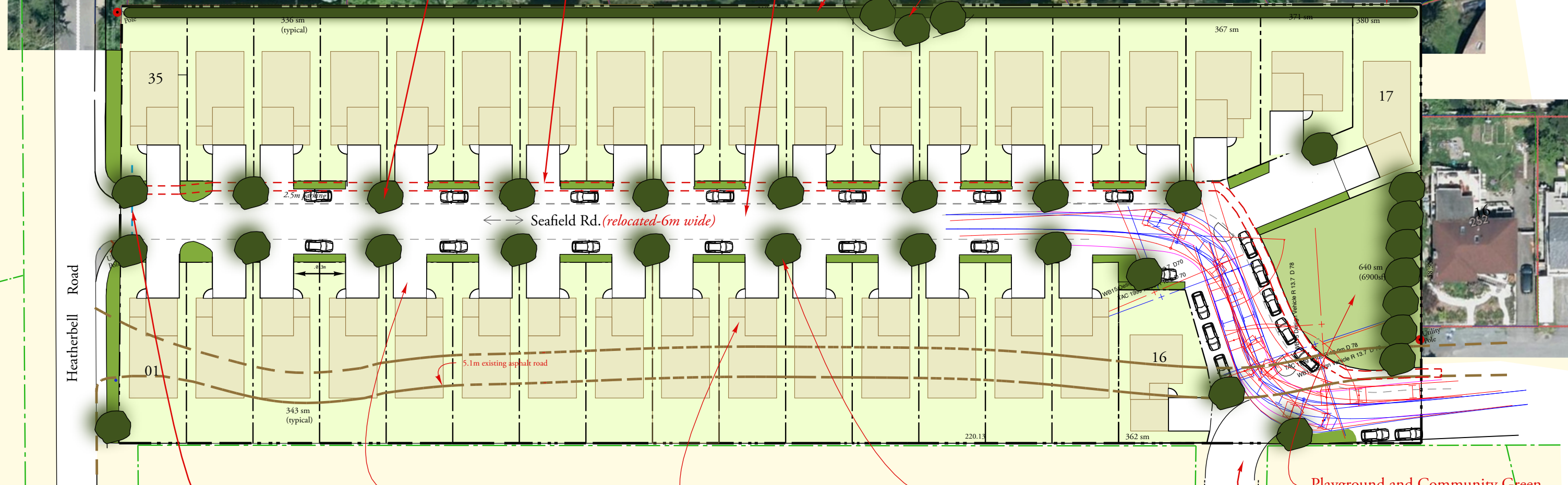
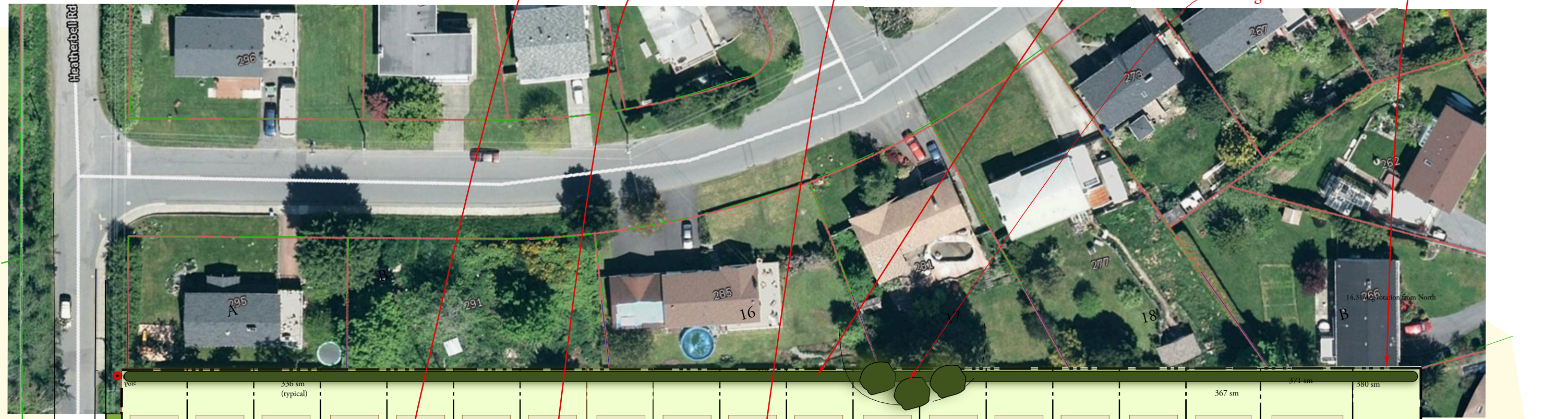
Road to be equal for all users: vehicles and pedestrians

New 4' cedar hedging to be installed

Hedging with neighbour to be retained

Possible 1.5m sidewalk.....

existing trees to be retained



Driveways for Lot's 1 & 35 in compliance with turning radii and sight lines (blue dotted line)

Driveway width complies with Colwood Engineering request (half the size of lot)

All houses to have front porches and doors (and 2nd floor windows) as "eyes on the street".

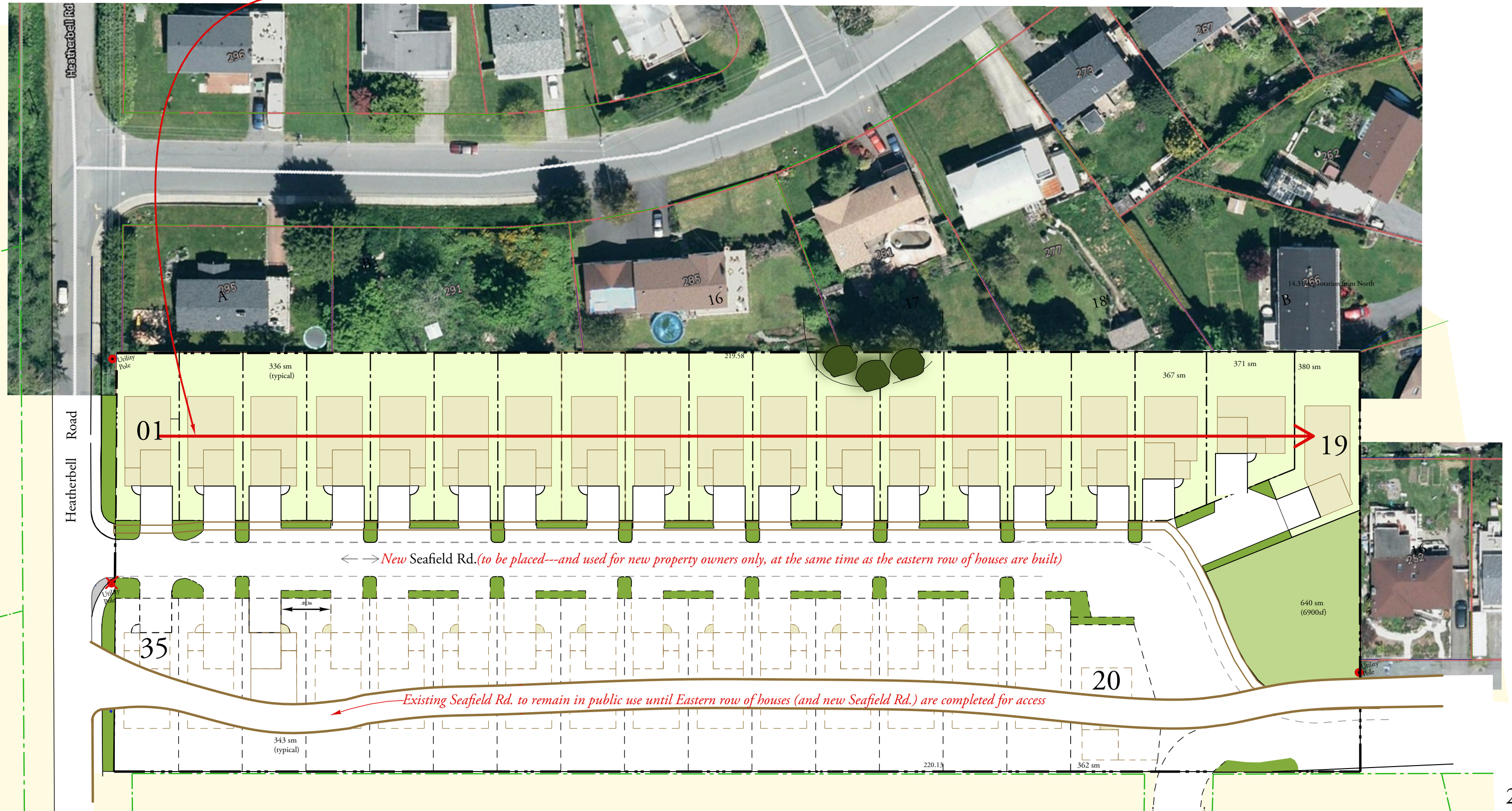
Tree placement designed to--over time, create a canopy over Seafield Rd.

Playground and Community Green
 Emergency vehicle access to OCEAN GROVE

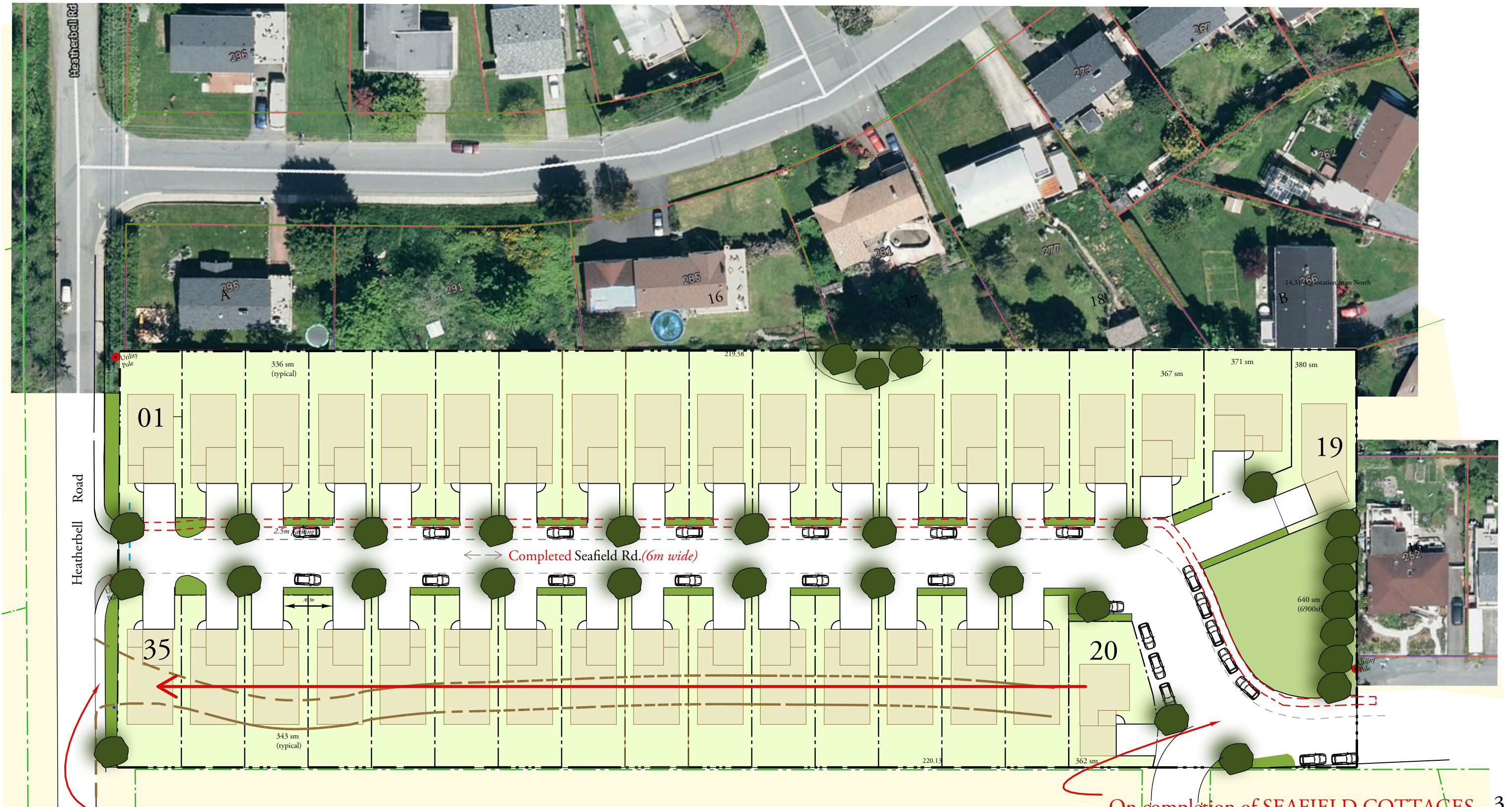
Sequence of Development Construction

1st phase: Units 1 through 19

Construction phasing of new homes to move in a southerly direction starting with unit #1 and proceeding through to unit #19. Services and relocated Seafield Rd introduced at this time as well.



Sequence of Development Construction
2nd phase: Units 20 through 35



Original Seafield Rd to be used for construction vehicles only: units 20-35

On completion of SEAFIELD COTTAGES, Ocean Grove Emergency Vehicle access only

"Sites in older neighbourhoods should be developed in a manner that improves the neighbourhood."

City of Colwood OCP

Community Green & hedging to our neighbour

4' cedar hedging shown as mature

Boulevard Tree canopy shown as mature

Portsmouth Rd Neighbours

OCEAN GROVE AREA



Relocated Seafield Rd.

Heatherbell Rd.

Aerial view of SEAFIELD COTTAGES from the NorthWest

Heatherbell Rd.



SEAFIELD COTTAGES
Near The Lagoon, Colwood, BC



Aerial view from the South West

Emergency Vehicle access
to OCEAN GROVE

Connection to existing Seafield Rd.

Playground & Community Green

SEAFIELD COTTAGES

Near The Lagoon, Colwood, BC



Proposed tree canopy--at the heart of Master Plan, is shown as mature (10-15 years)

Privacy hedging to Portsmouth Rd. neighbours

25' deep gardens

new Seafield Rd connect up with existing road at edge of property

Aerial view of SEAFIELD COTTAGES from the South



"Detached residential buildings on corner lots should have front and exterior side elevations that are compatible in architectural character. Architectural character includes items such as building materials, roof lines, windows and door treatments." City of Colwood OCP

"Articulate the form of houses on corner lots to address each street frontage including elements like porches that project into side yard setbacks and maintain sight lines." City of Colwood OCP

Note to Planners, City of Colwood:
"We are in complete agreement that corner house elevations should address each frontage. More design work to follow to address this attractive issue".
Seafeld Cottages Development Corporation

Heatherbell Rd approaching new Seafeld Rd

woonerfs are an innovative urban design feature that effectively reduce traffic flow in residential sectors of cities and towns.

They physically raise the pedestrian to the same level as the automobile, empowering those who choose alternative modes of transportation.

It eliminates excessive traffic noise and speed, and creates community gathering spaces.

A Woonerf functions as a play street for children as well as a cut through to larger streets while reducing the flow of traffic and forcing drivers to be aware of their surroundings.

Characteristics of a Woonerf are distinct gateways, benches, plants, play equipment, and parking with intermittent spacing.

The key distinction of a woonerf is the elimination of continuous curbs, placing the car and the the pedestrian on the same level.

The benches, trees, and plants serve to direct the car through the street." -----Seafield Cottages

"Feature high quality, safe and pedestrian-scaled streets that contribute to positive social interactions and safe environments."

City of Colwood OCP



SEAFIELD COTTAGES
Near The Lagoon, Colwood, BC

"Orient buildings towards and frame public streets and open spaces to create a sense of enclosure, street vitality and safety, and to generally enhance the visual quality and character of development." City of Colwood OCP

First impression on turning into SEAFIELD Rd in late afternoon sun. Note the tree 'boulevards', the variety and playfulness of the cottage designs (as per City of Colwood OCP), and the sentried trees in canopy. The focus of the Master Plan is on scale and appropriate massing of the cottages, and on greenscape (with an absolute minimum of hardscape).

Approaching the Community Green and the dog-leg swing to reconnect with existing Seafield Rd. This image shows a noon light.



"Set targets for canopy coverage in built areas that result from street trees, urban forests, treed landscapes and/or trees on private property."

"Create a legacy of rich public gathering places (e.g. places for community celebration and civic engagement).

Create infrastructure for food preparation, outdoor eating, and special event areas that enable people to build community and celebrate food."

City of Colwood OCP

SEAFIELD COTTAGES
Near The Lagoon, Colwood, BC

Privacy hedging to our neighbour to the south



A wide panoramic view looking back from where the existing road connects with the new SEAFIELD RD. Note we have left the GREEN as open and approachable.

SEAFIELD COTTAGES
Near The Lagoon, Colwood, BC

"Ensure integration of play spaces at all scales, to encourage both formal and informal play."
City of Colwood OCP



The view from the open (and approachable) green down canopied Seafield Rd to its T-connection at Heatherbell Rd. A noon light.

"Garage doors integrate into the overall design of the home and create visual interest with trim and decorative accents, window transoms or other elements to break up the mass."

City of Colwood OCP

A very clear indication of the compact scale (2nd floor 'tucked into' the roof-line), variety (window glazing & size, doors, roof-lines, and colour), and appropriate spacing between the buildings (3.35m, 11'). The 2nd floor windows and the front doors & porches are 'eyes on the street'. The garage carriage doors are carefully designed to take their muted place in the overall scale and massing of each cottage. This view shows a warm summer noon light.



"Family-oriented housing is typically ground-oriented. Include ground-oriented housing wherever possible to ensure 'eyes on the street' and active street life."

"Provide sheltered front porches. The front door and entryway of the house have prominence in the streetscape; Create visual interest by providing variations in height, rooflines and massing."

City of Colwood OCP

"For small lot buildings, ensure designs achieve harmony among single-family homes in a neighbourhood by providing:

A balance of visual continuity with distinctive elements.

Enhanced visual interest, without juxtaposition in any one unit of more than one design theme.

One or more design themes (e.g., traditional Edwardian, Arts and Crafts, traditional or contemporary West Coast) in a subdivision may be appropriate provided that they complement each other."

City of Colwood OCP



"Ensure a residential character through:

Sloping roof lines.

Shielded mechanical equipment

Variations in windows with window and door trim or casings.

Porches and verandas.

Dormers and gables.

Belt courses.

Bargeboards, fascia, soffits, trim, broad overhanging eaves. Variations in finishing materials."

City of Colwood OCP



From OCP: *"Variations but complementary façade and elevations in terms of colour, texture and pattern."*

A late afternoon view of the East side cottages. Note playfulness and scale to the canopied streetscape.