



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153
planning@colwood.ca | www.colwood.ca

File: DP-22-021

DEVELOPMENT PERMIT DP-22-021

THIS PERMIT, issued June 26, 2023 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

ISSUED TO: 82 Trumpeter Developments Ltd.
301-1106 Cook Street
Victoria, BC V8V 3Z9

(the "Permittee")

-
1. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT 82 PLAN EPP117070 SECTION 38 ESQUIMALT
3439 Trumpeter Street
(the "Lands")

2. This Development Permit regulates the development of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the form and character considerations for a building strata development containing 44 townhome units and associated site improvements are consistent with the design guidelines for areas designated as "Neighbourhood - Intensive Residential" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically varied by Council or supplemented by this Permit.
5. The Director of Development Services or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.

6. If the Permittee does not substantially start the construction permitted by this Permit within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:
 - Schedule 1 Architectural Drawings prepared by Ekistics Architecture, dated June 20, 2023.
 - Schedule 2 Landscape Plan prepared by LADR Landscape Architects, dated May 18, 2023.
 - Schedule 3 Landscape Cost Estimate prepared by LADR Landscape Architects, dated May 18, 2023.
8. This Development Permit authorizes the construction of a building strata development containing 44 townhome units along with any associated site works. The Land shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

FORM AND CHARACTER CONDITIONS**Building Features**

- 8.1. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by Ekistics Architecture (Schedule 1).
- 8.2. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Development Services or their delegate.
- 8.3. No future construction/installation of unenclosed or enclosed outdoor storage areas, and recycling/refuse collection and storage areas shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.
- 8.4. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Development Services or their delegate.

Landscaping

- 8.5. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by LADR Landscape Architects (Schedule 2).

Signage and Lighting

- 8.6. Signage must be in substantial compliance with the Landscape Drawings prepared by LADR Landscape Architects (Schedule 2).
- 8.7. Prior to the issuance of a Building Permit, the Permittee shall provide a Lighting Plan to the satisfaction of the City of Colwood's Development Services department. In addition to including specifications of all proposed exterior lighting plan, the plan must include details on the following:

8.7.1. Signage indicating "No Parking – Fire Lane" within all roadways that provide fire access.

SECURITIES

9. Prior to the issuance of a Building Permit, a security deposit in the amount of 110% of the landscape cost estimate (Schedule 3) must be submitted by the Permittee to the City of Colwood. The amount of security to be remitted is **\$305,219.20**.
- 9.1. This amount, or a portion thereof, shall be returned upon receipt of a signed statement of substantial completion from the registered landscape architect, to the satisfaction of the Director of Development Services or their delegate.

VARIANCES

10. The Colwood Official Community Plan (Bylaw No. 1700) encourages the provision of short-term and long-term bicycle parking to help improve the safety, comfort, convenience, and enjoyment of cycling for both recreational and destination-oriented trips.

Policies 8.2.3.5 and 8.2.3.6 of the Official Community Plan encourage short-term bicycle parking in commercial, community and recreation areas and long-term bicycle parking in multi-unit residential, workplace, and transit areas.

Given that **1)** the policies of the Official Community Plan prioritize long-term bicycle parking in residential areas, **2)** the Permittee is able to accommodate both long-term and short-term bicycle parking within the garages of each dwelling unit and **3)** the proposed site layout meets the design guidelines for private open space and amenity areas (OCP, Section 25.11), the requirement for short-term bicycle parking in the Colwood Off-Street Parking Bylaw No. 1909 is varied as follows:

- 10.1. Vary Section 5.1.2 of the City of Colwood Off-Street Parking Bylaw No. 1909 to decrease the number of required short-term bicycle spaces from 6 spaces per building (a total of 60 spaces) to 6 spaces per outdoor amenity area (a total of 6 spaces).

ISSUED ON THIS 26 DAY OF JUNE, 2023.

Yazmin Hernandez B.

YAZMIN HERNANDEZ

DIRECTOR OF DEVELOPMENT SERVICES

TRUMPETER LOT 82 TOWNHOMES

2023 / 05 / 24 - REISSUED FOR DP APPLICATION

Schedule 1

EKISTICS
Architecture

1925 Main Street
Vancouver, BC,
Canada, V5T 3C1
T. 604.876.5050
F. 604.876.5060
ekistics.com

ADDRESSES

CIVIC ADDRESS	LEGAL ADDRESS
82 Trumpeter Street, Colwood, B.C.	Lot 82, Section 38, Esquimalt District, Plan EPP117070

PROJECT TEAM

DEVELOPER: ABSTRACT DEVELOPMENTS. 301-1106 COOK STREET VICTORIA, BC, V8V 3Z9 T. 250.883.8611 E. bsmith@abstractdevelopments.com CONTACT: BEN SMITH	ARCHITECT: EKISTICS ARCHITECTURE INC. 1925 MAIN STREET VANCOUVER, BC, V5T 3C1 T. 604.876.5050 E. blackwood@ekistics.ca CONTACT: MARK BLACKWOOD	CIVIL ENGINEER: J.E. ANDERSON & ASSOCIATES 4212 GLANFORD AVE. VICTORIA, BC, V8Z 4B7 T. 250.727.2214 E. rtuck@jeanderson.com CONTACT: ROSS TUCK	LANDSCAPE ARCHITECT: LADR #3-864 QUEENS AVENUE VICTORIA, BC, V8T 1M5 T. 250.598.0105 E. sleogreen@ladra.ca CONTACT: SEAN LEOGREEN
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REVISIONS

1

ISSUES

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PROJECT NUMBER

DRAWN BY

CHECKED BY

DATE CHECKED

CONSULTANT

PROJECT

DRAWING TITLE

DRAWING No.

DATE

2023-06-20

2023-05-24

230523

221017

DD-92

HA / PM / BL

RR

2023-06-21

MARK BLACKWOOD

REGISTERED ARCHITECT

BRITISH COLUMBIA

ABSTRACT DEVELOPMENTS

TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

COVER SHEET/ DRAWING INDEX

LEGAL ADDRESSES:
Lot 82, Section 38, Esquimalt District, Plan EPP117070

	AREA		PERCENTAGE	UNITS/ACRE			
	(SQ M)	(SQ FT)					
TOTAL LOT AREA	7,465.32	80,356.00	100%	24	PERMITTED BUILDING HEIGHT	3 STOREYS (12.5m MAX)	
*NET LOT AREA	7,465.32	80,356.00	100%	24	PROPOSED BUILDING HEIGHT	3 STOREYS (12.27m MAX)	
					*REFER TO SITE SECTIONS FOR BUILDING HEIGHTS		
ZONING RBCD 5							
PERMITTED LOT COVERAGE	3,732.66	40,178.00	50%		SETBACKS:	PERMITTED	PROPOSED
PROPOSED LOT COVERAGE	2,851.94	30,698.05	38%		FRONT	3.0m	3.0m
(TOTAL FOOTPRINT)					REAR	6.0m	6.0m
					SIDE	1.2m	1.2m
PERMITTED FSR	N/A	N/A	N/A				
PROPOSED FSR	6,063.46	65,268.69	0.8				

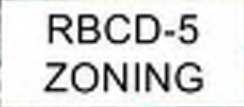
UNIT TYPE		WIDTH (FT)	COUNT	BEDROOMS	PARKING TYPE	LOWER FLOOR AREA (SQ FT)	MAIN FLOOR AREA (SQ FT)	UPPER FLOOR AREA (SQ FT)	GARAGE AREA (SQ FT)	MECHANICAL AREA (SQ FT)	NET FLOOR AREA (SQ FT)
A	A1	16'-2"	2	3	DOUBLE	713.1	647.4	641.7	428.6	0.0	1,573.6
	A1a	16'-2"	1	3	DOUBLE	713.1	672.0	641.7	428.6	0.0	1,596.2
	A1ae	16'-2"	1	3	DOUBLE	713.1	688.8	641.7	428.6	0.0	1,615.0
	A2	16'-0"	2	3	TANDEM	559.6	616.0	644.4	481.8	0.0	1,338.3
	A3	16'-0"	2	3	TANDEM	560.4	616.0	645.0	272.6	0.0	1,548.8
	SUBTOTAL		8								
B	B	16'-0"	4	3	TANDEM	633.5	616.0	640.0	536.4	0.0	1,353.1
	Ba	16'-0"	4	3	TANDEM	633.5	616.0	640.0	536.4	0.0	1,353.1
	Be	16'-0"	1	3	TANDEM	640.0	622.1	646.3	542.9	0.0	1,365.6
	Bae	16'-0"	1	3	TANDEM	640.2	622.3	646.7	543.0	0.0	1,366.2
	Bc	16'-0"	1	3	TANDEM	640.0	648.0	646.3	542.9	0.0	1,391.5
	Bce	16'-0"	1	3	TANDEM	640.2	649.4	646.7	543.0	0.0	1,393.3
	B1	16'-0"	2	3	TANDEM	633.5	616.0	640.0	247.2	0.0	1,642.3
	B1a	16'-0"	2	3	TANDEM	633.5	616.0	640.0	247.2	0.0	1,642.3
	B1e	16'-0"	1	3	TANDEM	640.2	648.4	646.7	250.8	0.0	1,684.5
	B1ae	16'-0"	1	3	TANDEM	640.2	648.4	646.7	250.8	0.0	1,684.5
	SUBTOTAL		18								
C	C	24'-0"	6	3	DOUBLE	641.6	630.6	613.2	408.8	0.0	1,476.6
	Ce	24'-0"	4	3	DOUBLE	646.3	635.1	617.8	412.2	0.0	1,486.9
	C1	24'-0"	6	3	DOUBLE	646.3	661.1	617.8	412.2	0.0	1,512.9
	SUBTOTAL		18								
TOTAL			44								

	FORMULA	TOTAL
REQUIRED RESIDENTIAL PARKING	2.0 CARS/DWELLING	88.0
PROVIDED RESIDENTIAL PARKING		93.0
PERMITTED SMALL CAR PARKING	30%	27.6
PROVIDED SMALL CAR PARKING	0.0%	0.0
REQUIRED VISITOR PARKING	0.1 CARS/DWELLING	4.4
PROVIDED VISITOR PARKING		5.0
TOTAL PARKING STALLS		98.0

	FORMULA	TOTAL
REQUIRED RESIDENT BIKE STALLS	1.0 STALLS/DWELLING	44.0
PROVIDED RESIDENT BIKE STALLS	2.0 STALLS/DWELLING	88.0
REQUIRED SHORT TERM BIKE STALLS		6.0
PROVIDED SHORT TERM BIKE STALLS		6.0

FORMULA		TOTAL (SQ M)	TOTAL (SQ FT)
REQUIRED AMENITY AREA (DGL)	15% MIN. NET SITE COVERAGE	1,119.8	12,053.4
REQUIRED AMENITY AREA (OCP)	3.0 SQ M /BEDROOM	396.0	4,262.5
PROVIDED AMENITY AREA	9.8%	732.3	7,882.2
REQUIRED PRIVATE OUTDOOR SPACE	10.0 SQ M /DWELLING	440.0	
PROVIDED PRIVATE OUTDOOR SPACE	10.0 SQ M /DWELLING	440.0	

	TOTAL (M)	TOTAL (FT)
MAXIMUM BUILDING HEIGHT	12.50	41.01
PROVIDED MAXIMUM BUILDING HEIGHT	12.27	40.26



BUILDING NUMBER	BLDG TYPE	TOTAL FLOOR AREA (SQ FT)	TOTAL FLOOR AREA (SQ M)	BUILDING NUMBER	BLDG TYPE	TOTAL LOT COVERAGE (SQ FT)	TOTAL LOT COVERAGE (SQ M)
1	C1-C-C-C1	5,966.79	554.33	1	C1-C-C-C1	2,639.67	245.23
2	Ce-C-C-Ce	5,928.13	550.74	2	Ce-C-C-Ce	2,601.00	241.64
3	C1-C-C-C1	5,966.79	554.33	3	C1-C-C-C1	2,639.67	245.23
4	Ce-C-Ce	4,451.90	413.60	4	Ce-C-Ce	1,953.00	181.44
5	C1-C-C1	4,490.57	417.19	5	C1-C-C1	1,991.67	185.03
6	Bc-B-Ba-B-Ba-Bce	8,196.37	761.47	6	Bc-B-Ba-B-Ba-Bce	4,341.12	403.30
7	Bae-B-Ba-B-Ba-Be	8,144.90	756.69	7	Bae-B-Ba-B-Ba-Be	4,214.82	391.57
8	B1ae-B1-B1a-B1-B1a-B1e	9,937.94	923.26	8	B1ae-B1-B1a-B1-B1a-B1e	4,266.97	396.41
9	A1-A2-A2-A1	5,825.85	541.24	9	A1-A2-A2-A1	2,940.04	273.14
10	A1a-A3-A3-A1ae	6,359.45	590.81	10	A1a-A3-A3-A1ae	3,110.09	288.94
TOTAL		65,268.69	6,063.66	TOTAL		30,698.05	2,851.94

REVISIONS		
1		
ISSUES		DATE
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4	REISSUED FOR DP APPLICATION	2023-06-20
3	RE-ISSUED FOR DP APPLICATION	2023-05-24
2	RE-ISSUED FOR DP APPLICATION	2023-03-01
1	ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	CO-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

PROJECT STATISTICS

DRAWING No.

A0.01



Avery Lane by Abstract Developments



3450 Whittier by Abstract Developments



3450 Whittier – Building D



Mitchell by Mosaic



Seaside by Mosaic



Clayton Walk by Anthem Properties

REVISIONS

ISSUES	DATE
1	
8	
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4	REISSUED FOR DP APPLICATION 2023-06-20
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2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER DD-92

DRAWN BY HA / PM / BL

CHECKED BY RR

DATE CHECKED

CONSULTANT



PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

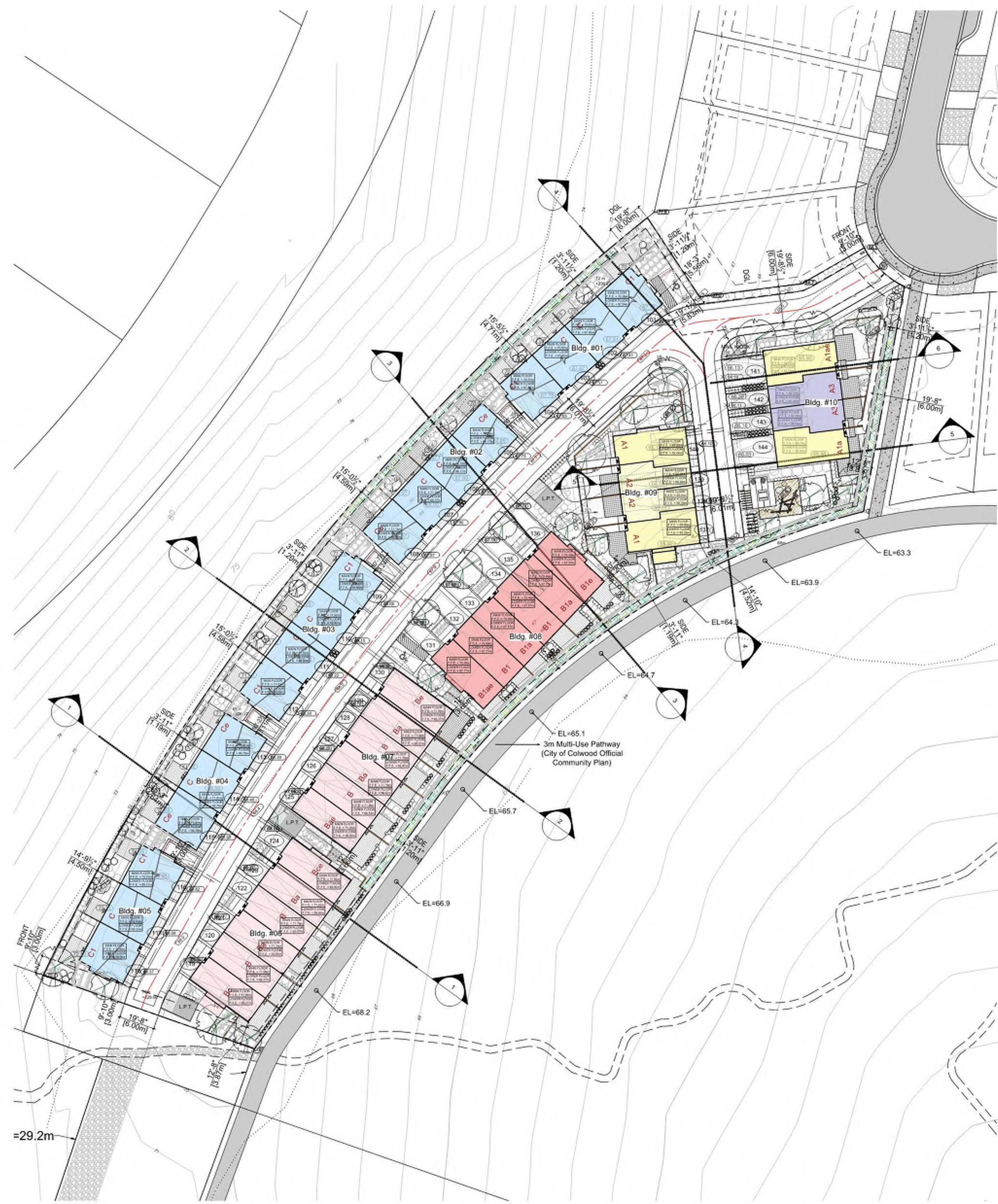
COLWOOD, BC

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**PRECEDENTS
SHEET**

DRAWING No.

A0.02



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4	REISSUED FOR DP APPLICATION
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2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
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CONSULTANT	



PROJECT	ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY COLWOOD, BC
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DRAWING TITLE	OVERALL SITEPLAN
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REVISIONS	
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4	REISSUED FOR DP APPLICATION
3	REISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

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CONSULTANT	



PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

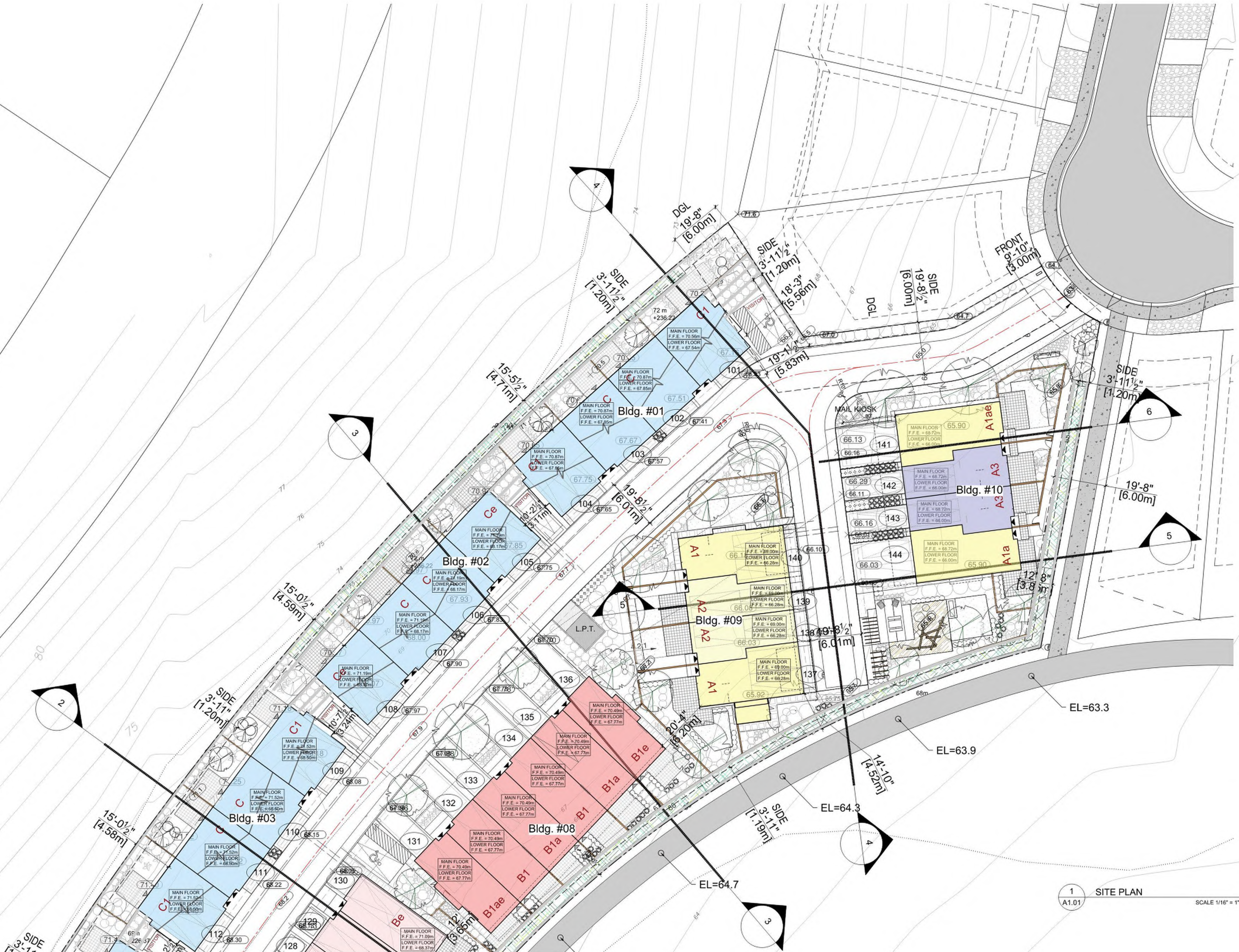
COLWOOD, BC

DRAWING TITLE
PARTIAL SITE PLAN

DRAWING No.

A1.01

1 SITE PLAN
A1.01 SCALE 1/16" = 1'-0"



EL=63.3

EL=63.9

EL=64.3

EL=64.7

EL=65.1

3m Multi-Use Pathway
(City of Colwood Official
Community Plan)

EL=65.7

EL=66.9

EL=68.2

1 SITE PLAN

A1.02

SCALE 1/16" = 1'-0"

REVISIONS	
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4	REISSUED FOR DP APPLICATION
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2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

2023-06-20

2023-05-24

2023-03-01

2022-10-17

PROJECT NUMBER DD-92

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CHECKED BY RR

DATE CHECKED

CONSULTANT



PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

**PARTIAL
SITEPLAN**

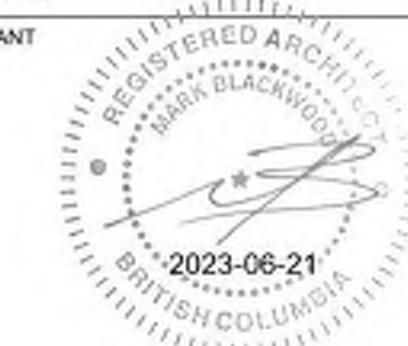
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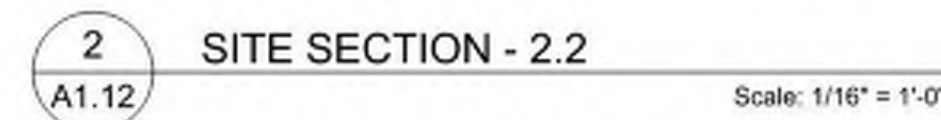
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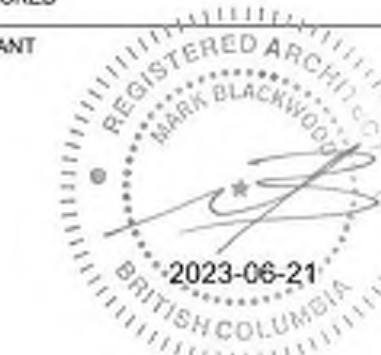
COLWOOD, BC

SITE SECTION #1

A1.11



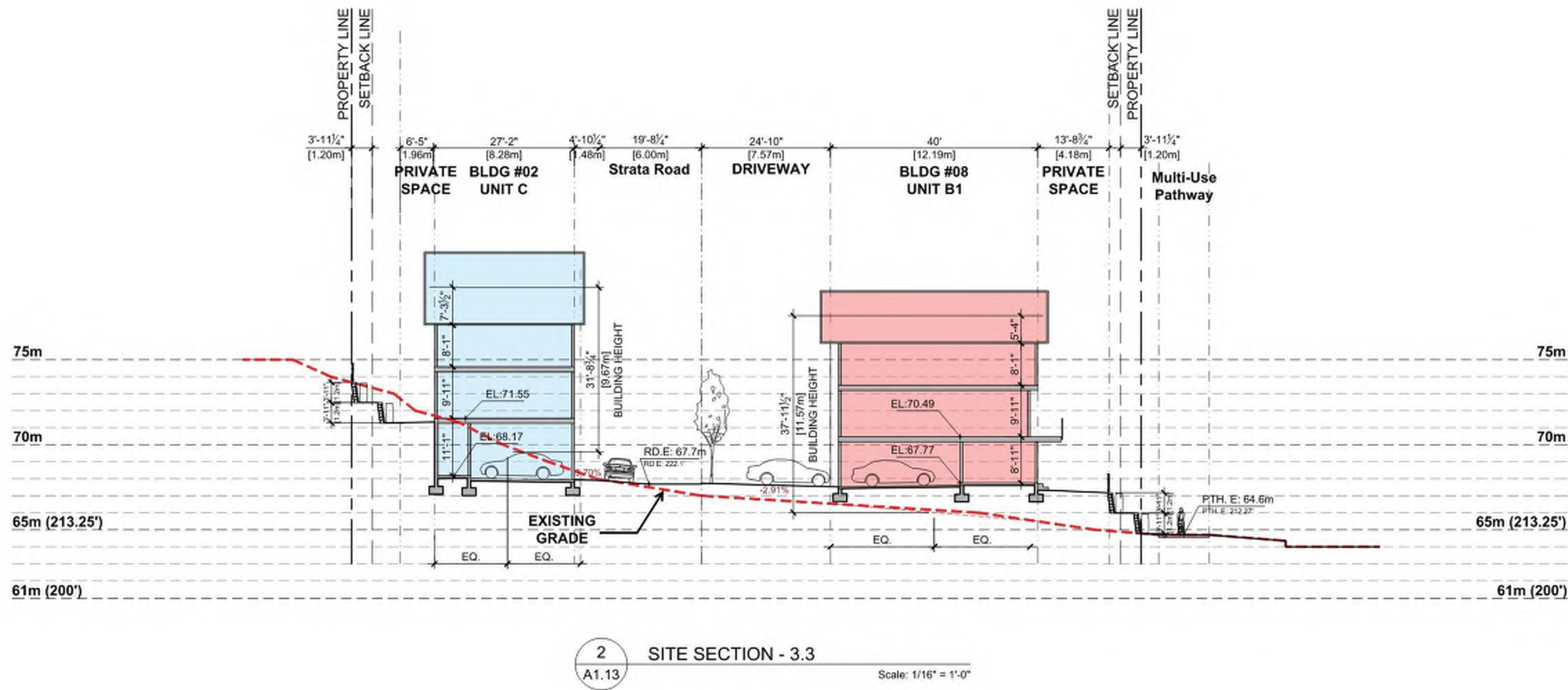
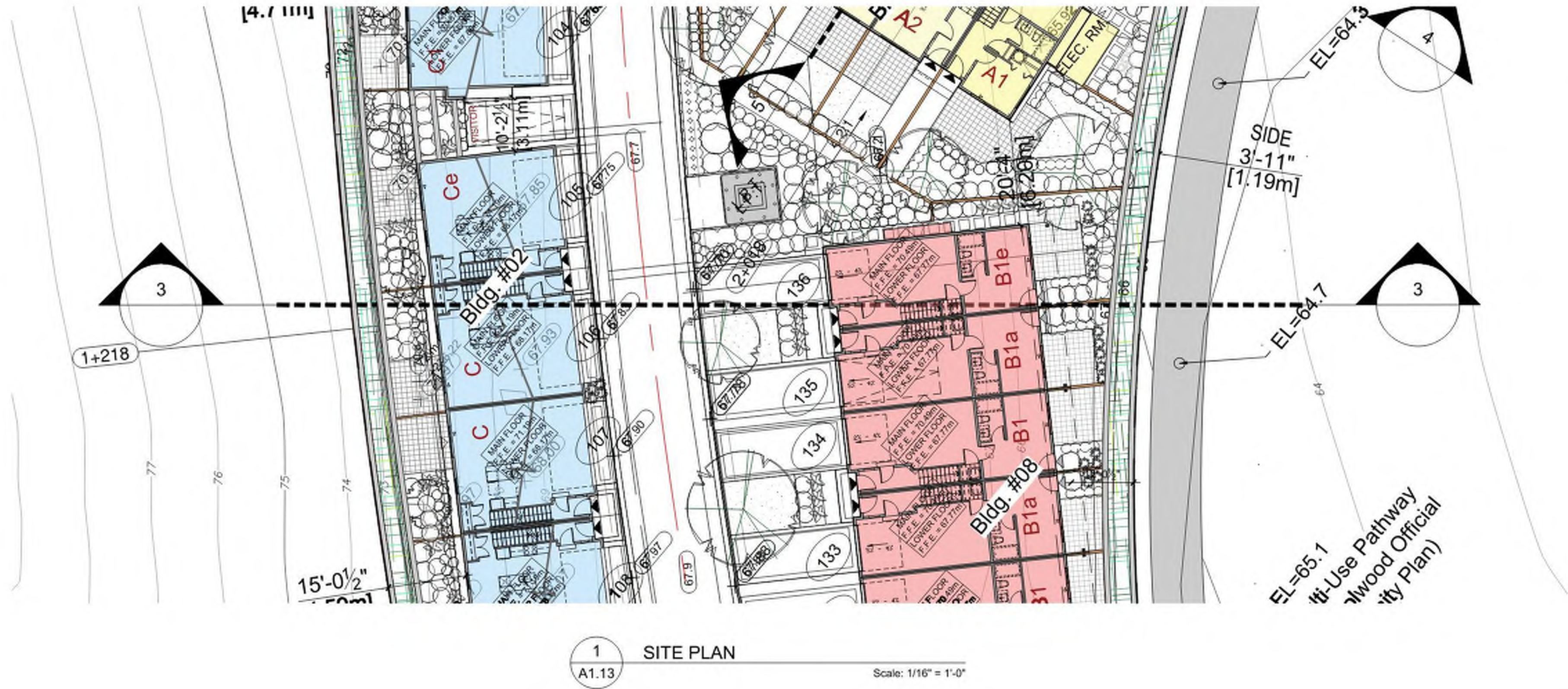
PROJECT NUMBER	DD-92
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DATE CHECKED	
CONSULTANT	



COLWOOD, BC

SITE SECTION #2

DRAFTING No.



REVISIONS	
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ISSUES	
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION
DATE	
2023-06-20	
2023-05-24	
2023-03-01	
2022-10-17	

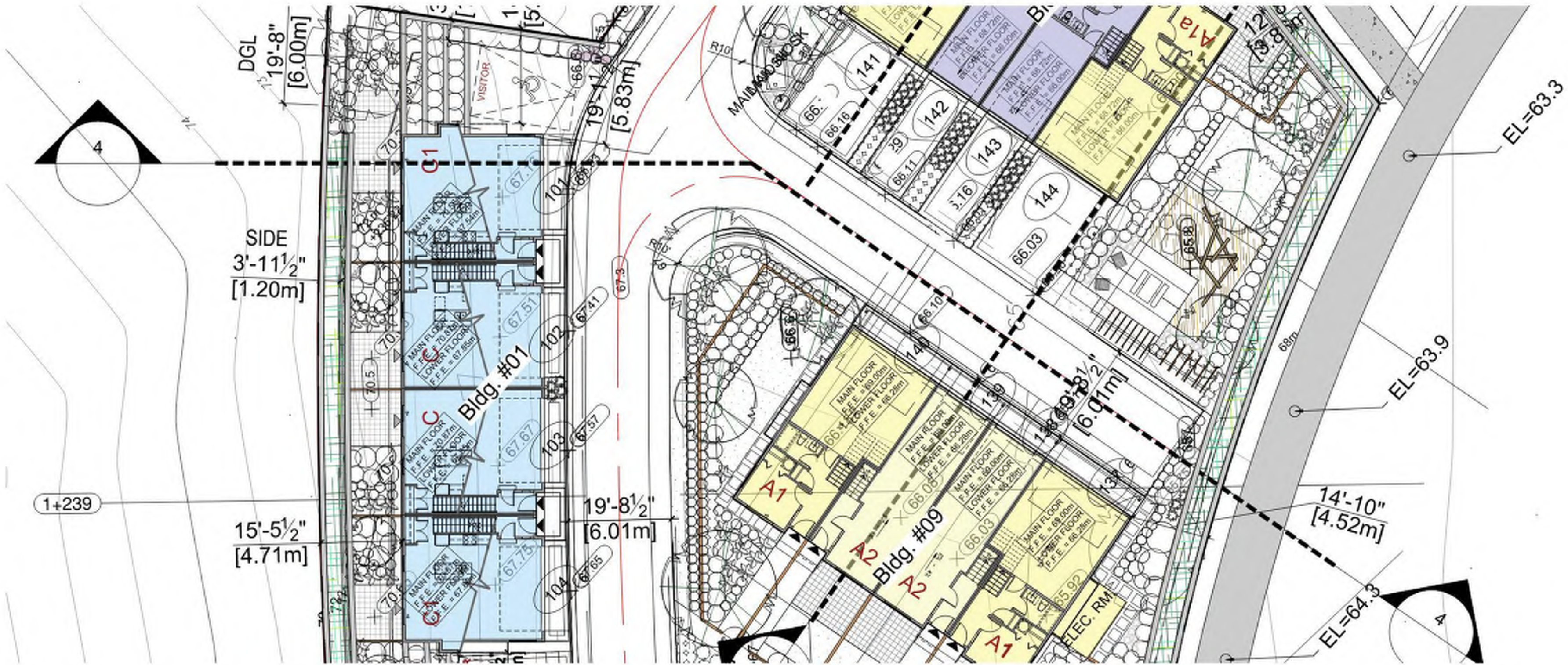
PROJECT NUMBER	DD-92
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DATE CHECKED	
CONSULTANT	



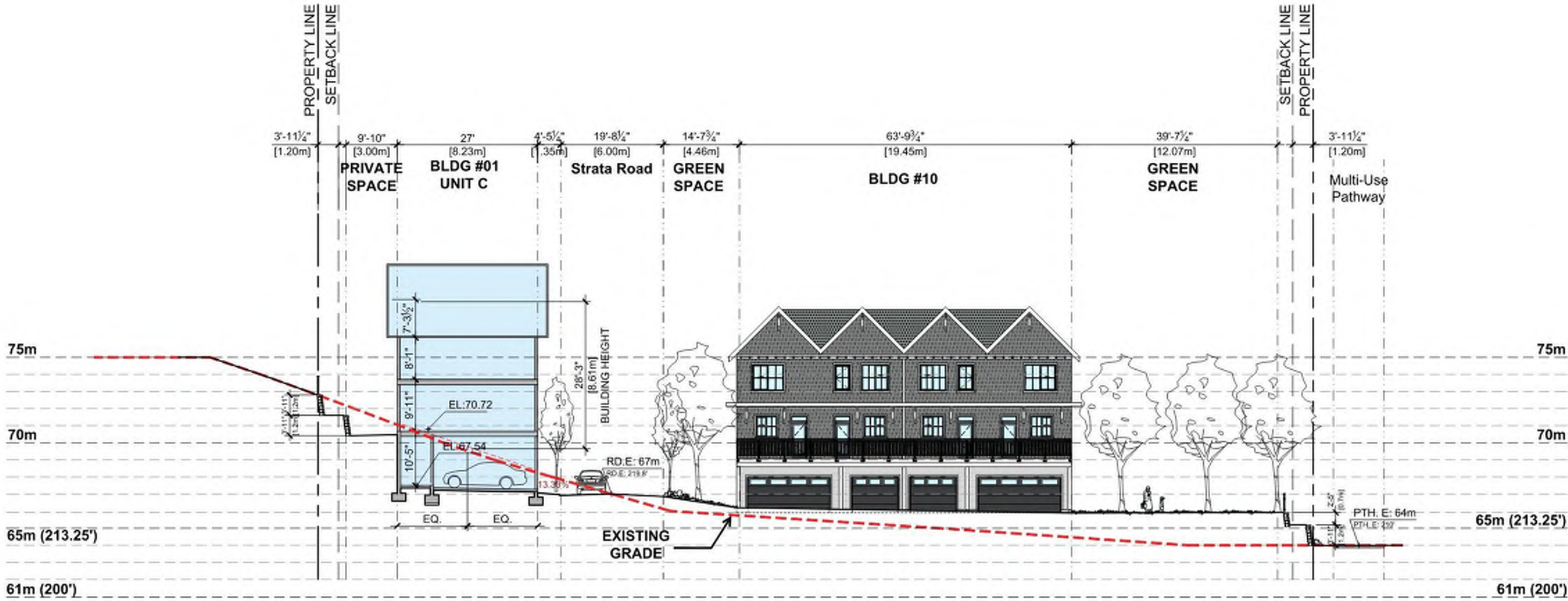
PROJECT	ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC	
DRAWING TITLE	

SITE SECTION #3

DRAWING No.



1 SITE PLAN
A1.14 Scale: 1/16" = 1'-0"



2 SITE SECTION - 4.4
A1.14 Scale: 1/16" = 1'-0"

REVISIONS	
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ISSUES	DATE
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7	
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5	
4	RE-ISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
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DRAWN BY	HA / PM / BL
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DATE CHECKED	
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CONSULTANT	
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PROJECT	
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ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

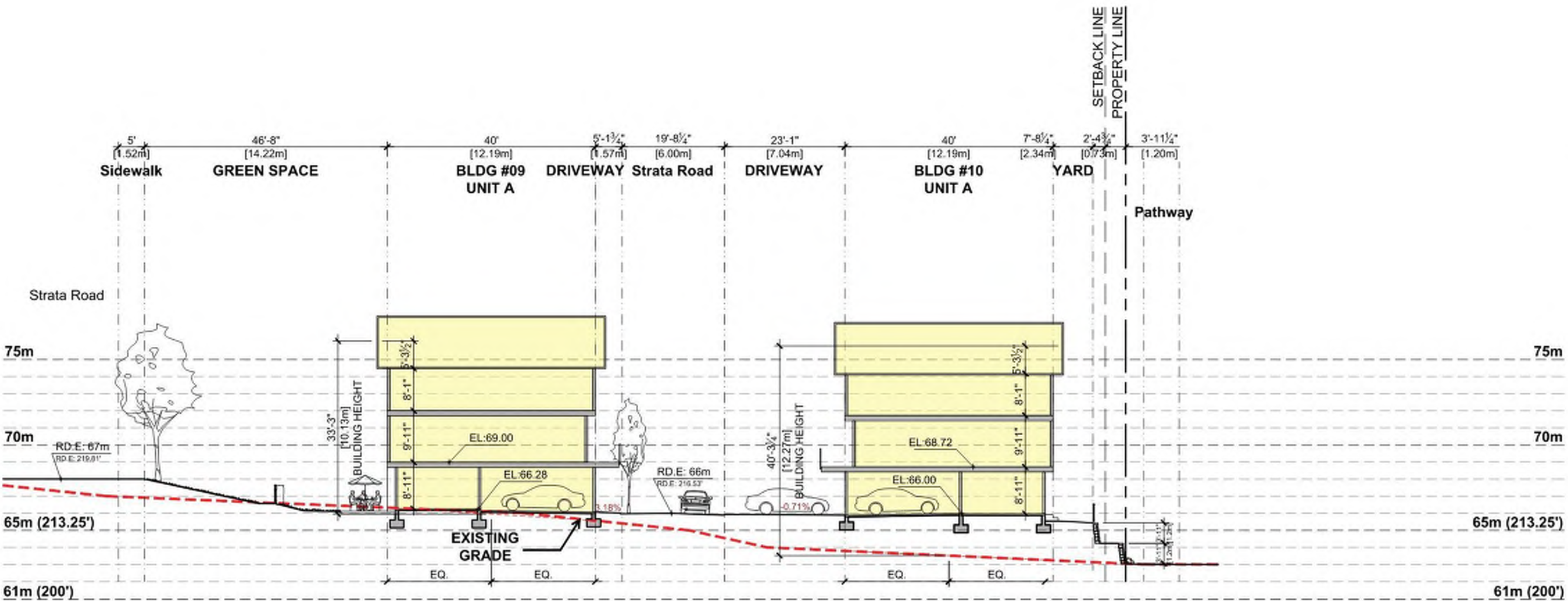
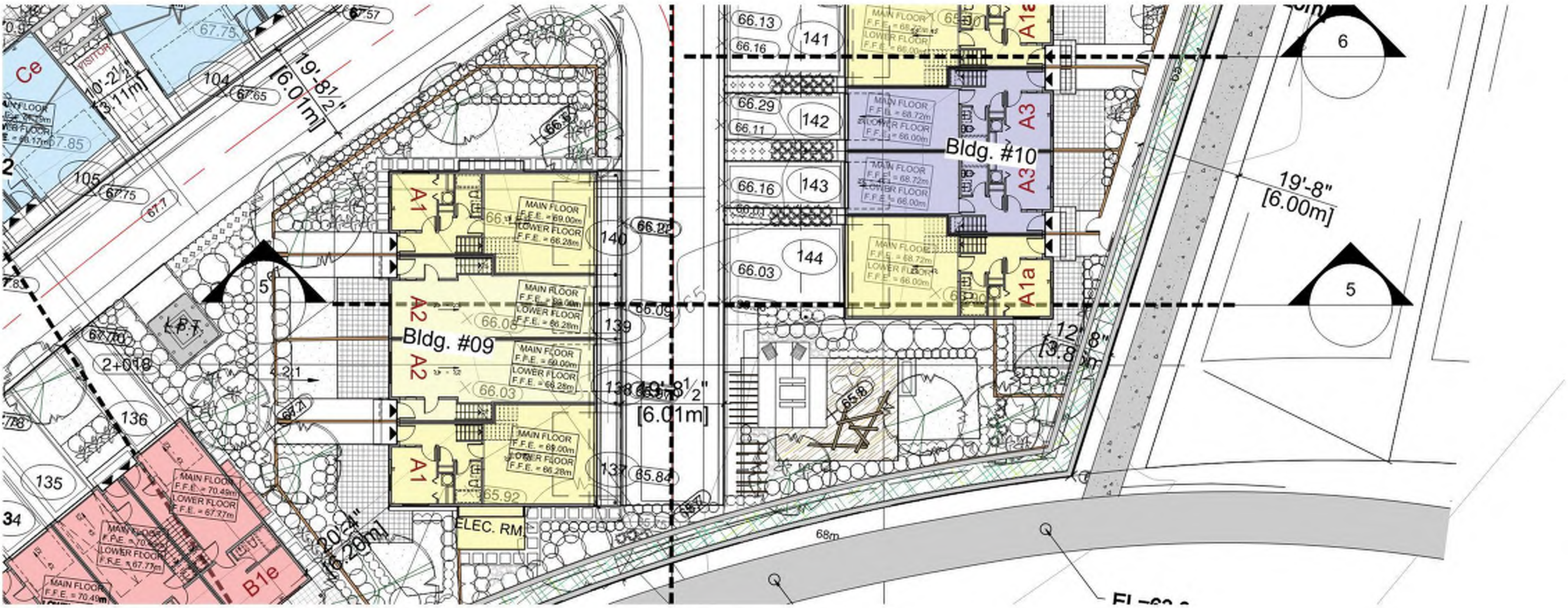
COLWOOD, BC

DRAWING TITLE	
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SITE SECTION #4

DRAWING No.	
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A1.14



REVISIONS	
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ISSUES	
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT	ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY COLWOOD, BC
DRAWING TITLE	SITE SECTION #5
DRAWING No.	



PROJECT NUMBER	CG-92
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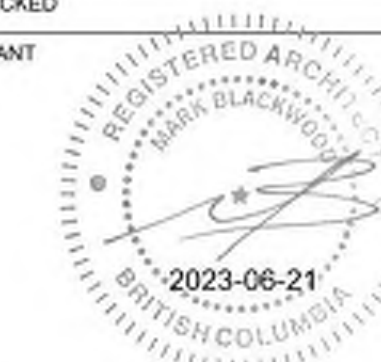
DRAWN BY: HA / PM / BL

CHECKED BY	RR
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OFFERED BY:	DATE:
DATE CHECKED:	

DATE CHECKED _____

CONSULTANT _____



PROJECT	
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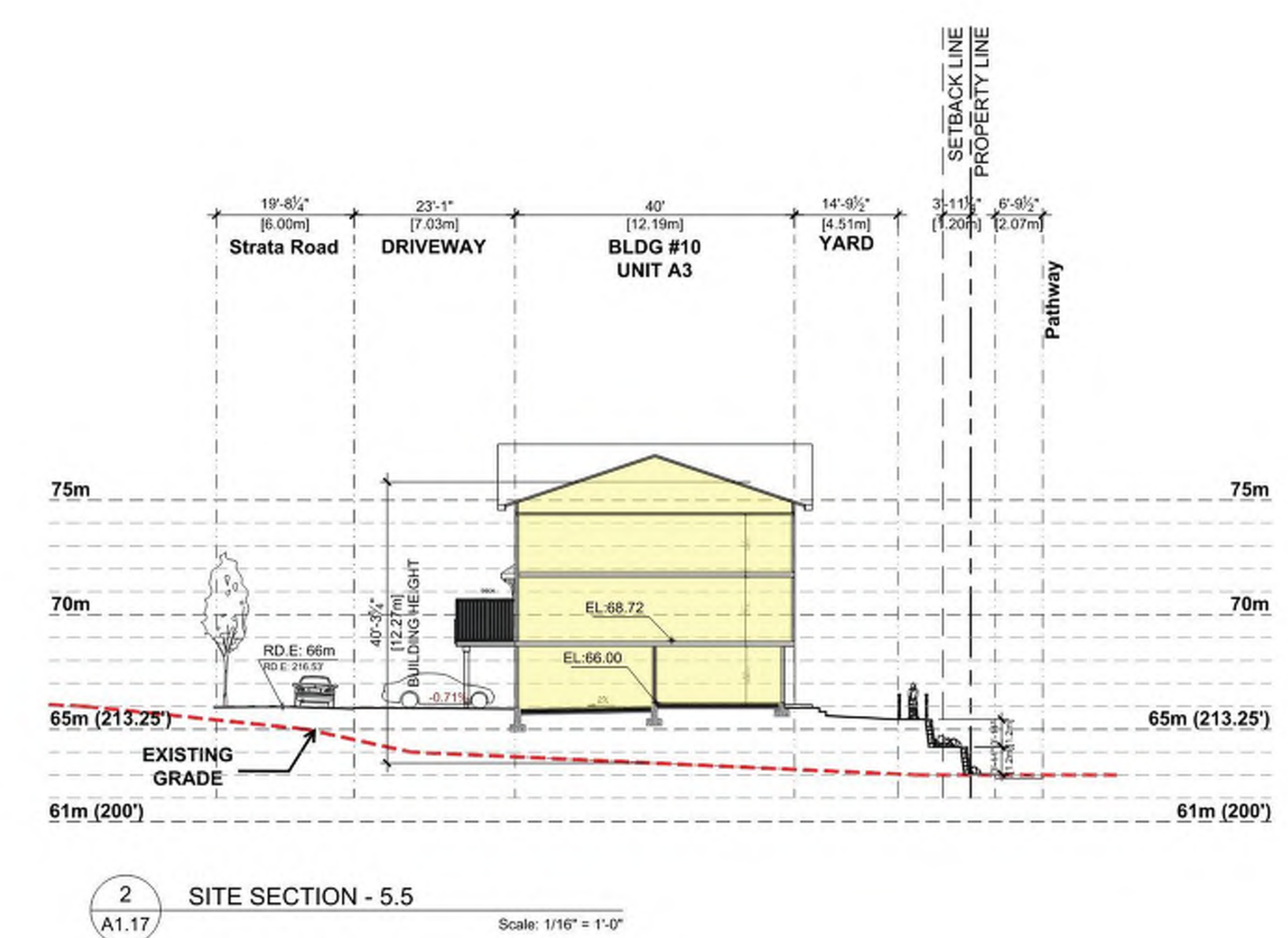
**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

SITE SECTION #6

DRAWING No. _____



REVISIONS	
1	

ISSUES	DATE
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
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DRAWN BY	HA / PM / BL
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CONSULTANT	
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PROJECT	
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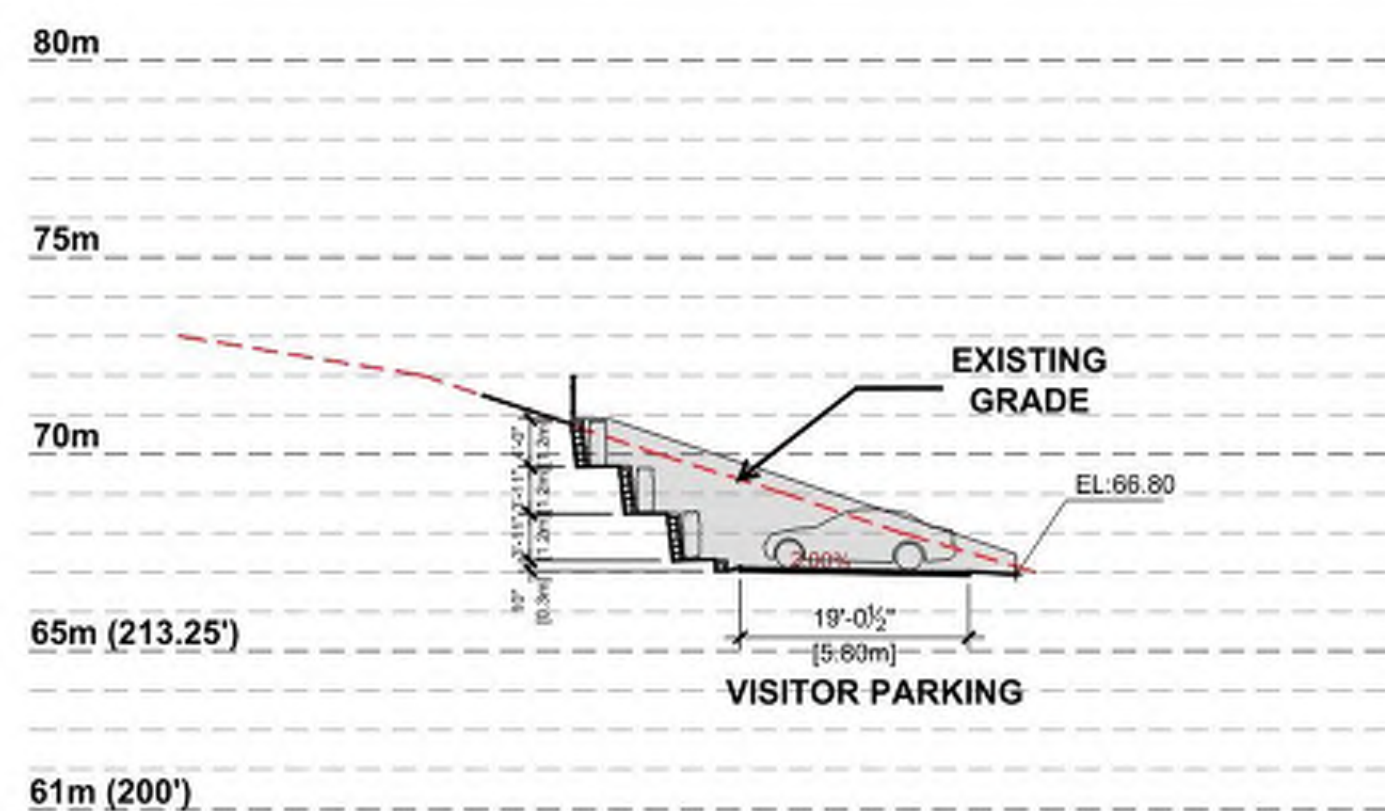
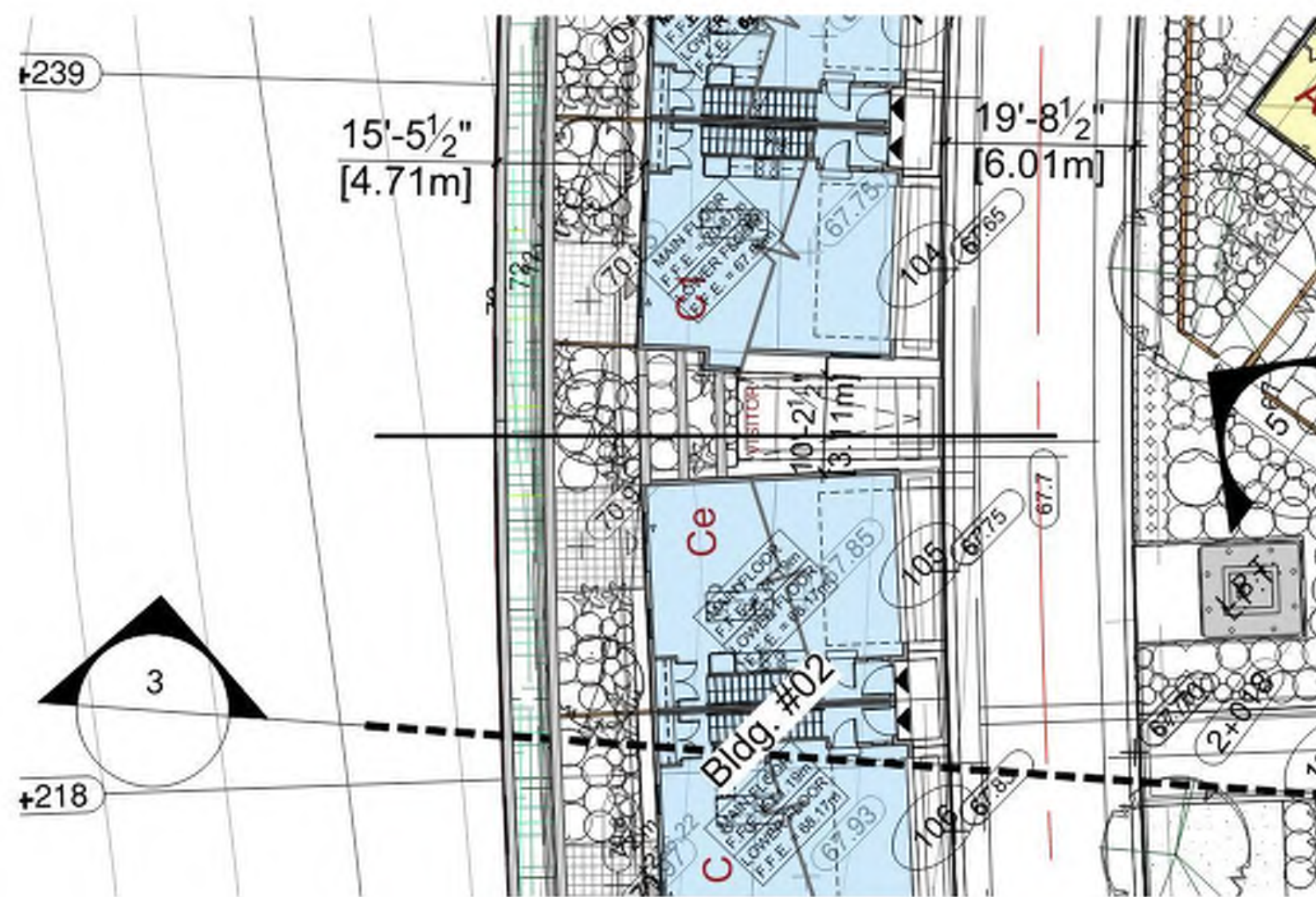
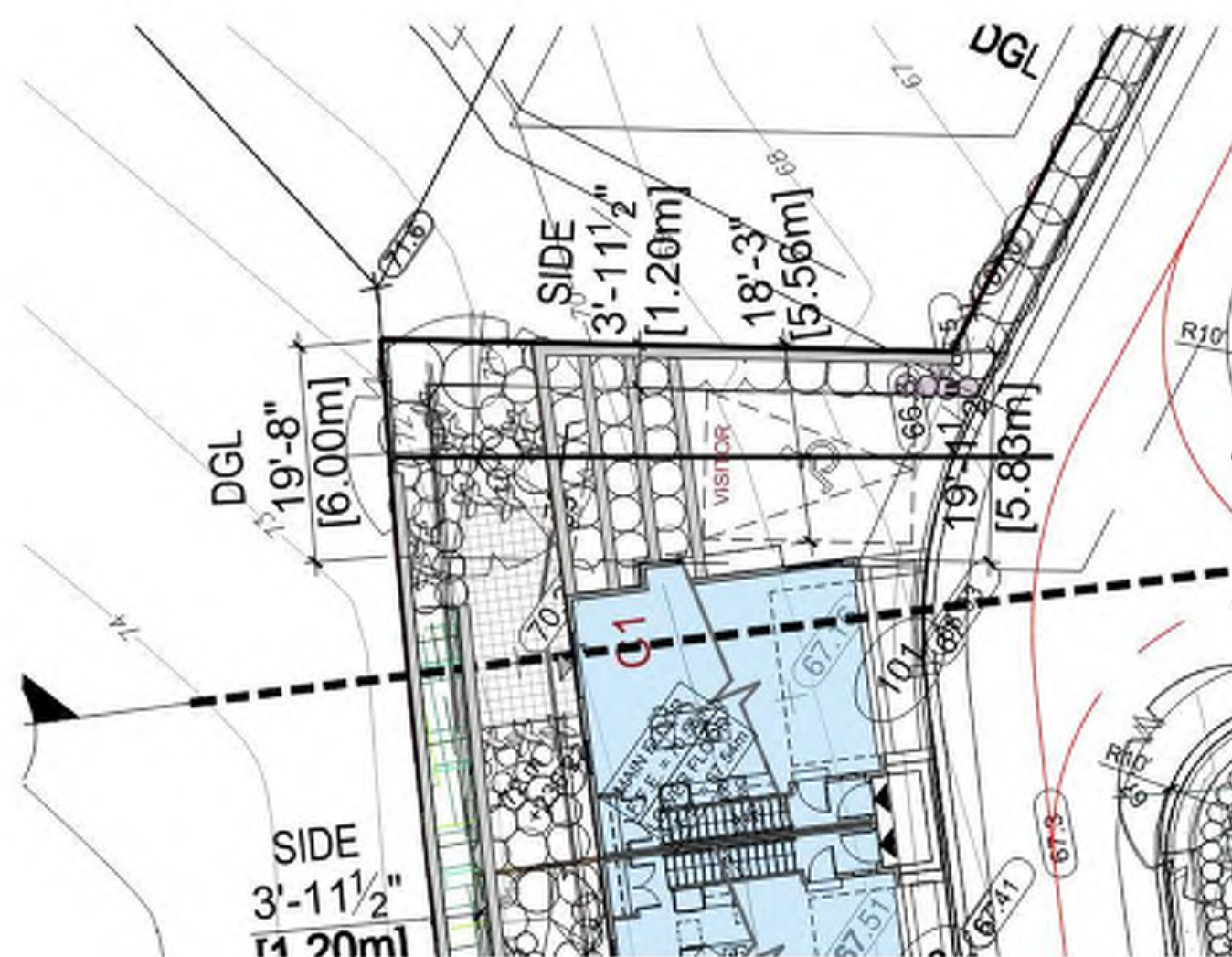
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

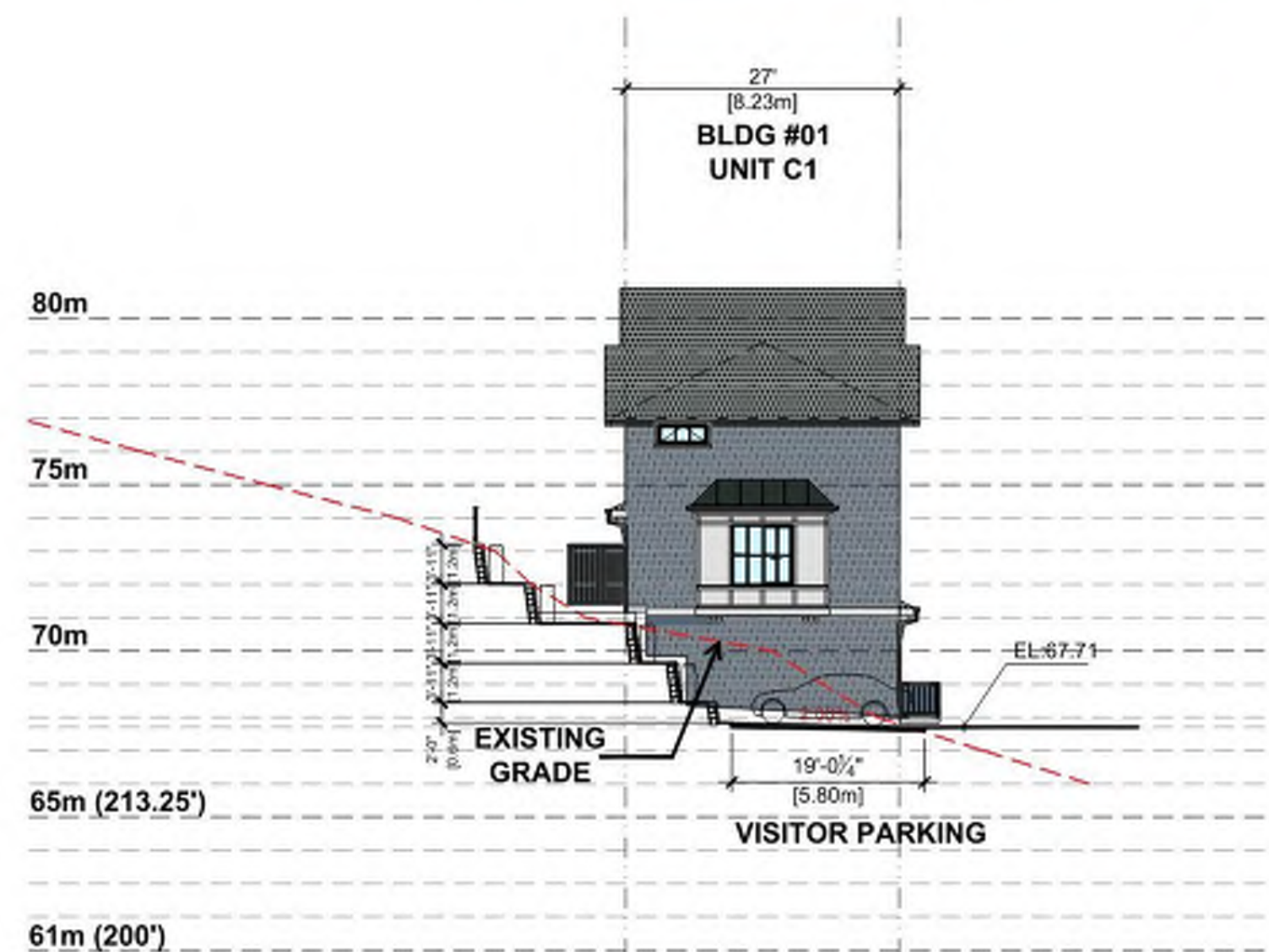
DRAWING TITLE	
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SITE SECTION #5

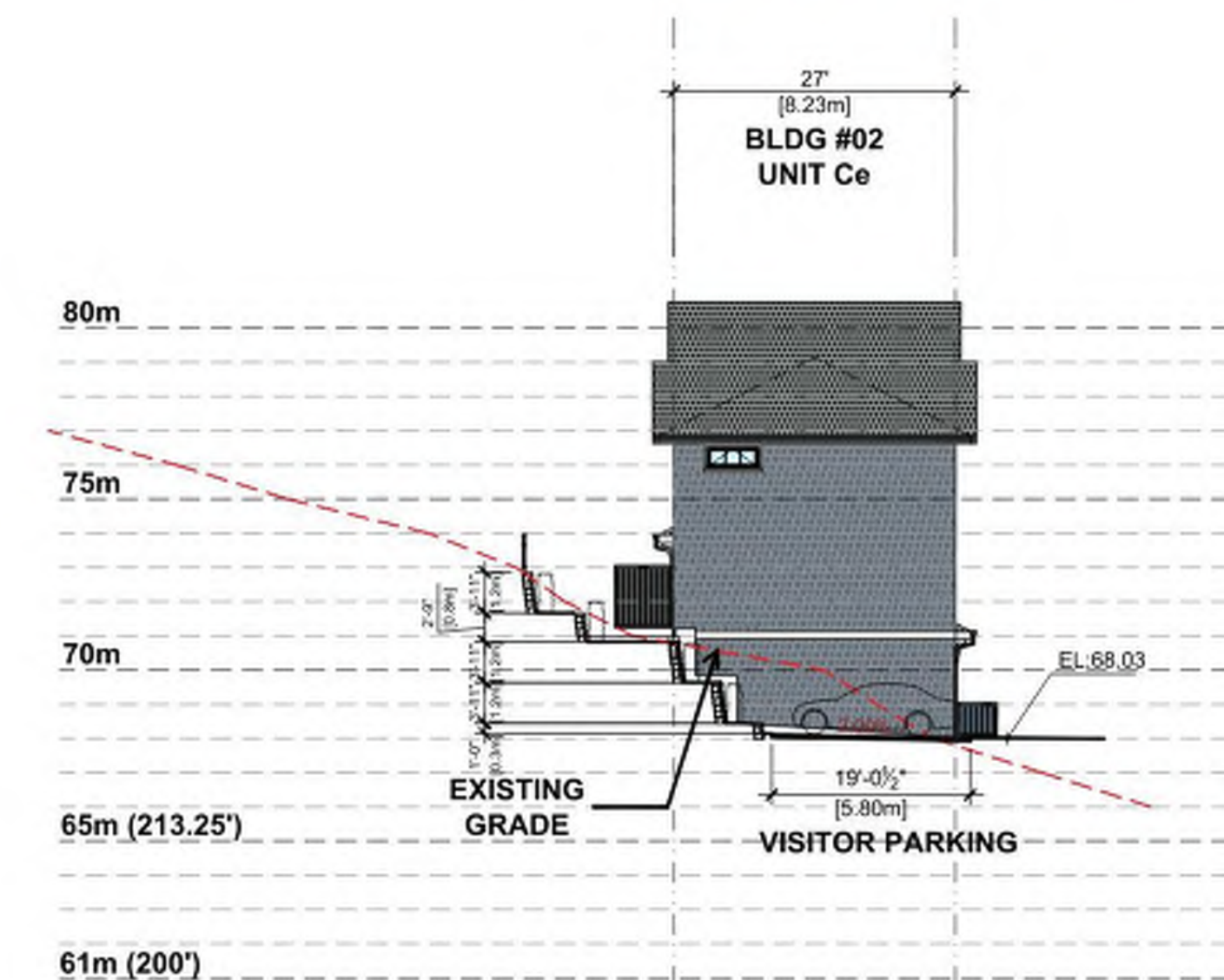
DRAWING No.	
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1 SITE SECTION
A1.18 Scale: 1/16" = 1'-0"



2 SITE SECTION - 1.1
A1.18 Scale: 1/16" = 1'-0"

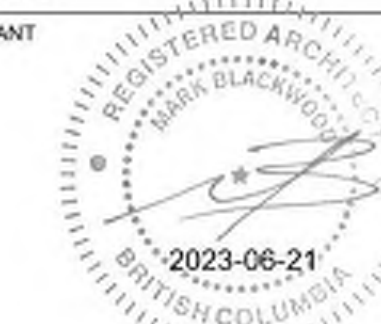


3 SITE SECTION - 1.1
A1.18 Scale: 1/16" = 1'-0"

REVISIONS

ISSUES	DATE
8	
7	
6	
5	
4	REISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

SITE SECTION

DRAWING No.

A1.18

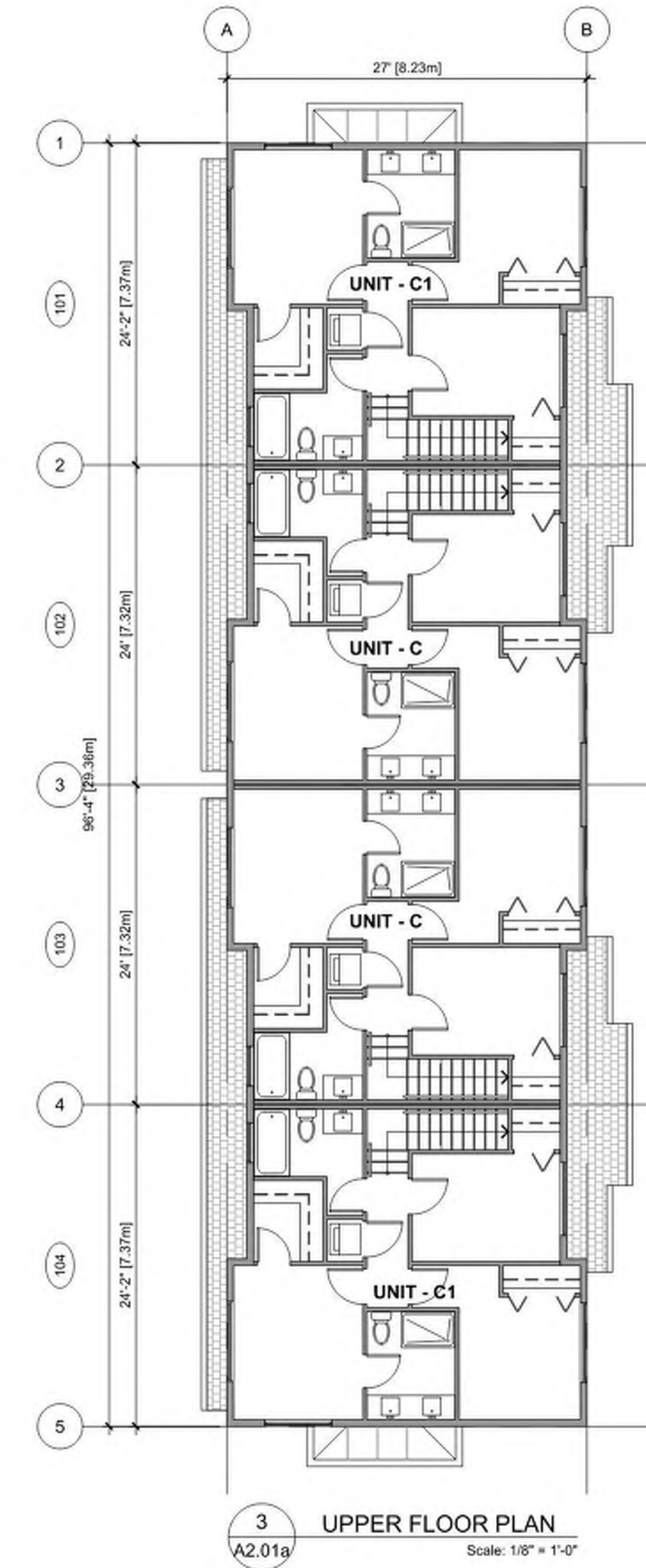
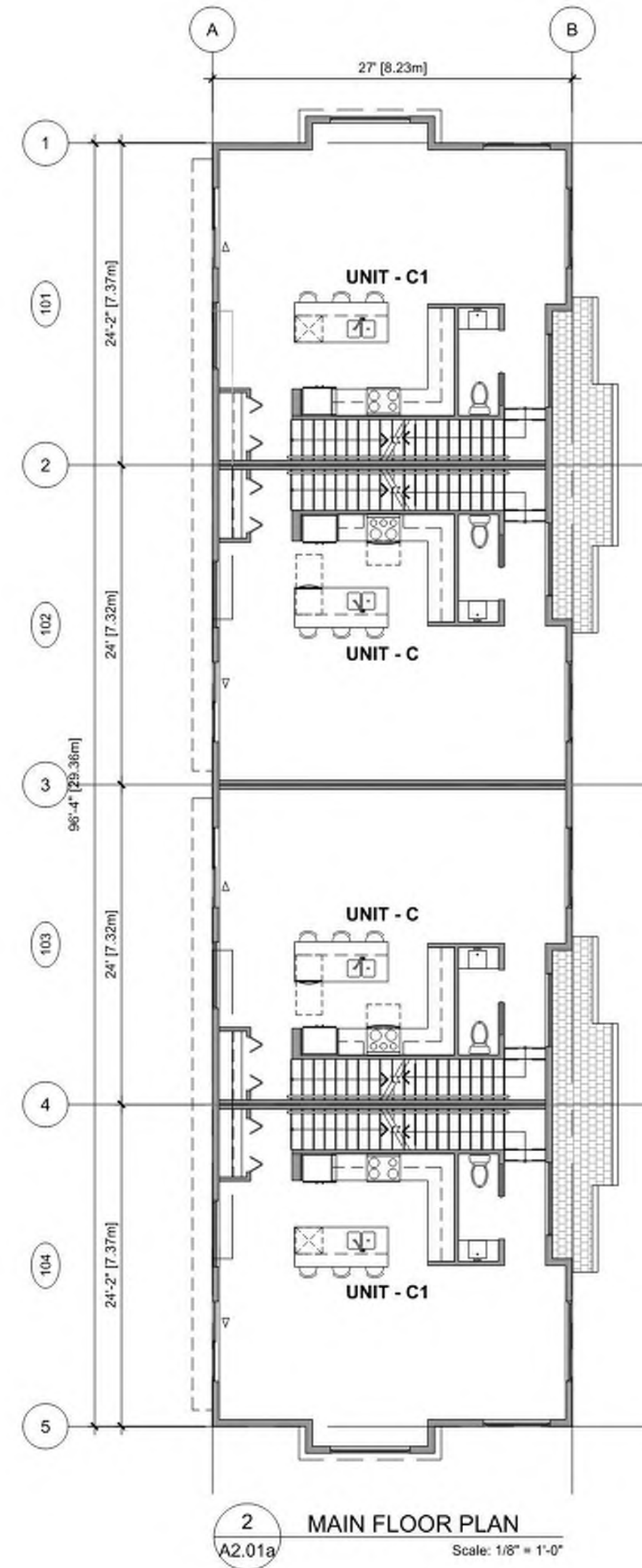
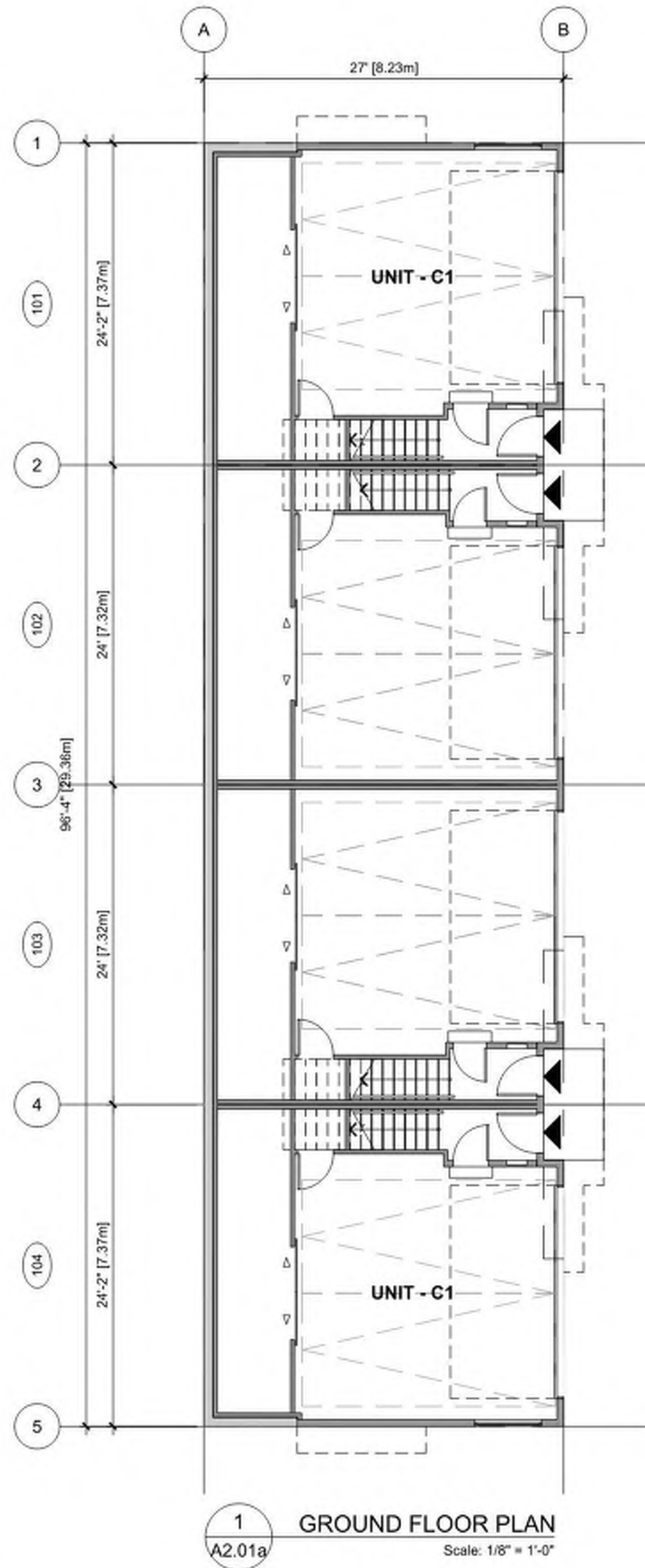
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

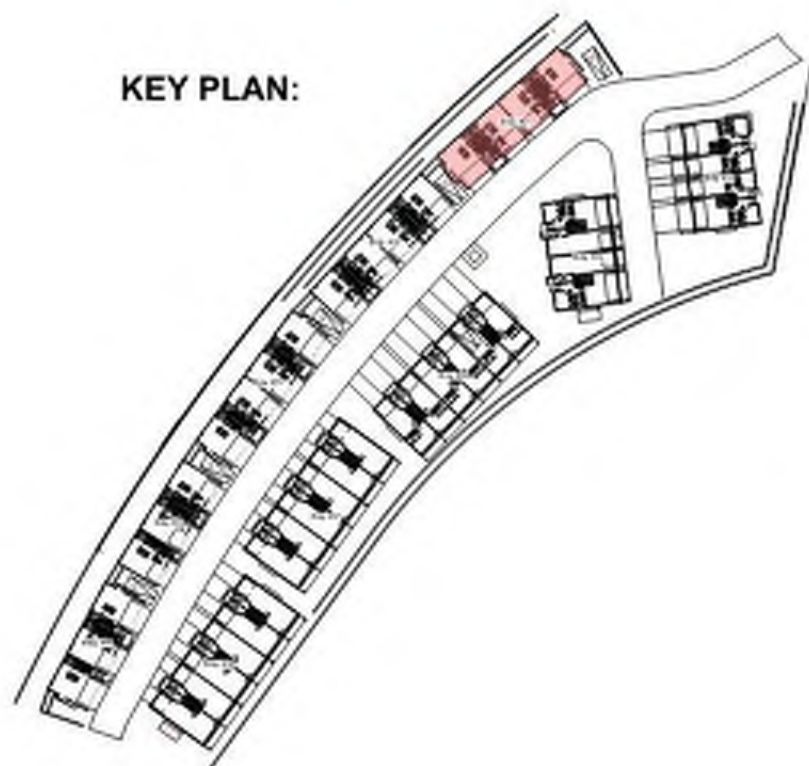
2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
- WALL ASSEMBLY MARK
- FLOOR & ROOF
ASSEMBLY MARK
- DOOR MARK
- WINDOW MARK
- DETAIL NUMBER
REFERENCE DRAWING
- BUILDING SECTION
MARK
- DW DISH WASHER
- F. REFRIGERATOR
- F.G. FINISHED GRADE
- P. PANTRY
- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



KEY PLAN:



REVISIONS	
1	
ISSUES	DATE
8	
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION
PROJECT NUMBER DO-92	
DRAWN BY HA / PM / BL	
CHECKED BY RR	
DATE CHECKED	
CONSULTANT	



PROJECT
**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC

DRAWING TITLE
**BUILDING #1
FLOOR PLANS**

DRAWING No.

BUILDING #1 AREAS	S.F.	S.M.
- GROUND FLOOR	934.63	86.83
- MAIN FLOOR	2,570.17	238.78
- UPPER FLOOR	2,462.00	228.73
- TOTAL FLOOR AREA	5,966.79	554.33

A2.01a

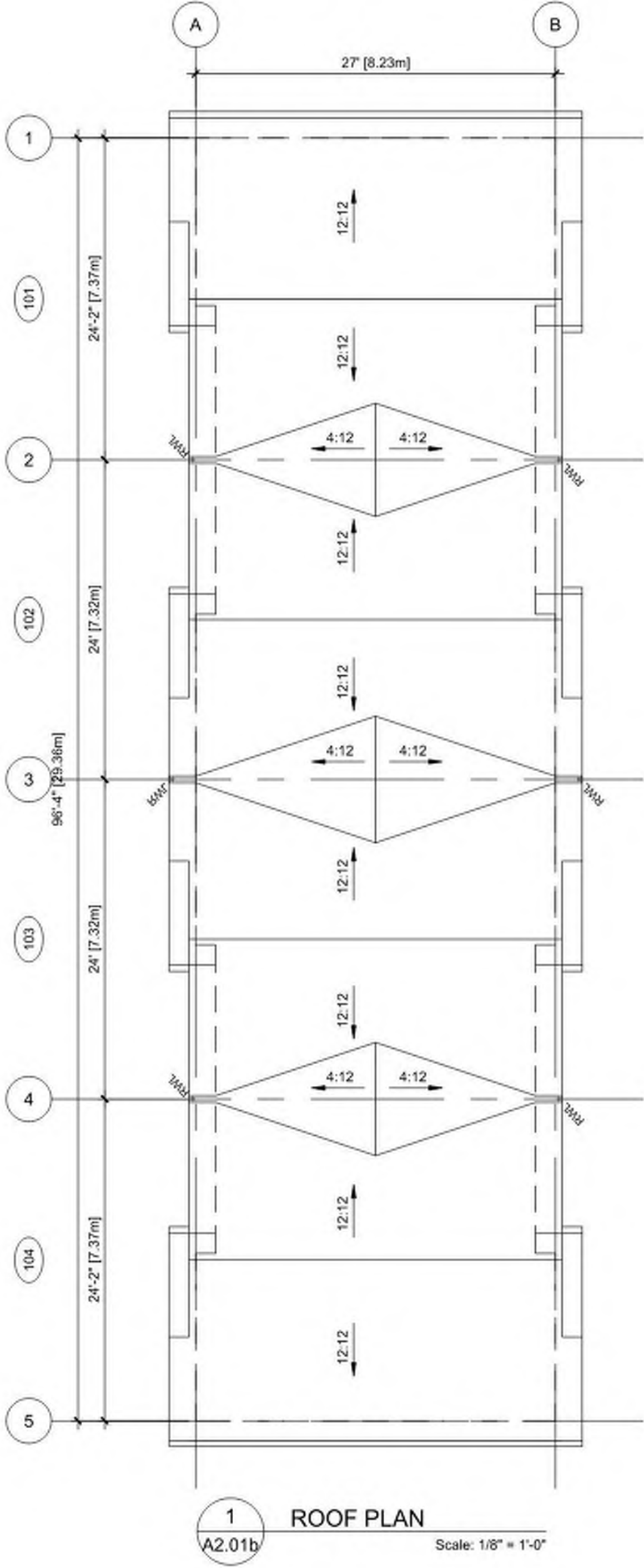
PARTY WALL & ATTIC FIRE RATINGS
(SEE ALSO CODE REPORT FROM LMDG)

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DENOTES 1 HR. FIRE RESISTANCE RATING

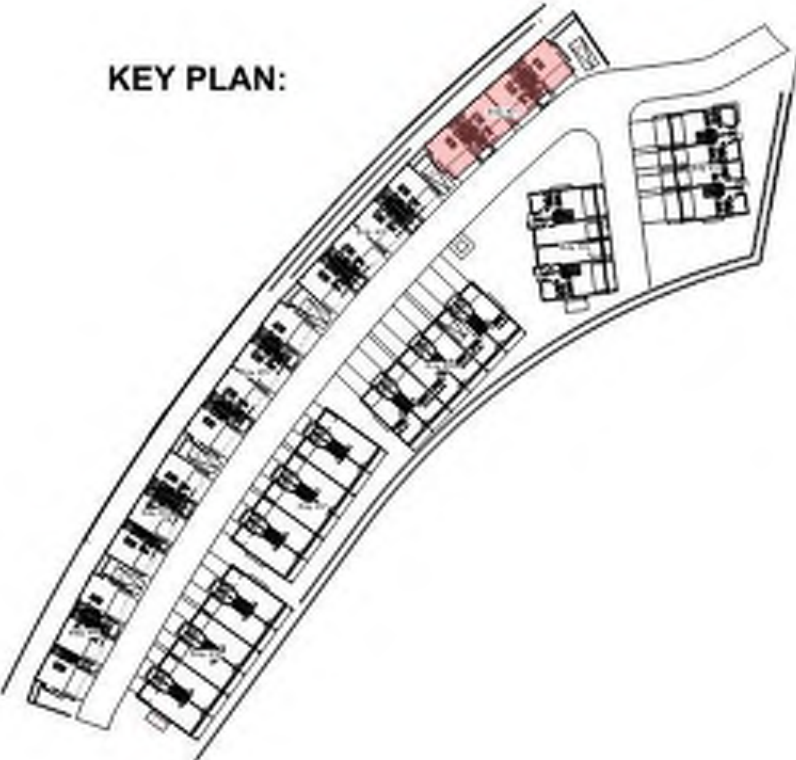
2hr
DENOTES 2 HR. FIRE RESISTANCE RATING

LEGEND:

- TYPICAL BULKHEAD / DROPPED CEILING
- FIRE RATED DROPPED CEILING
- RWL (RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING / BRICK LEDGE
- WALL ASSEMBLY MARK
- FLOOR & ROOF ASSEMBLY MARK
- DOOR MARK
- WINDOW MARK
- DETAIL NUMBER REFERENCE DRAWING
- BUILDING SECTION MARK
- DW DISH WASHER
- F. REFRIGERATOR
- F.G. FINISHED GRADE
- P. PANTRY
- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION WALL
- SMOKE/CO DETECTOR REFER TO ELECTRICAL



KEY PLAN:



BUILDING #1 AREAS	S.F.	S.M.
- GROUND FLOOR	900.63	83.67
- MAIN FLOOR	2,566.16	238.40
- UPPER FLOOR	2,462.00	228.73
- TOTAL FLOOR AREA	5,928.79	550.80



REVISIONS	
1	

ISSUES	DATE
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT	ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY COLWOOD, BC
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DRAWING TITLE	BUILDING #1 ROOF PLANS
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DRAWING No.	A2.01b
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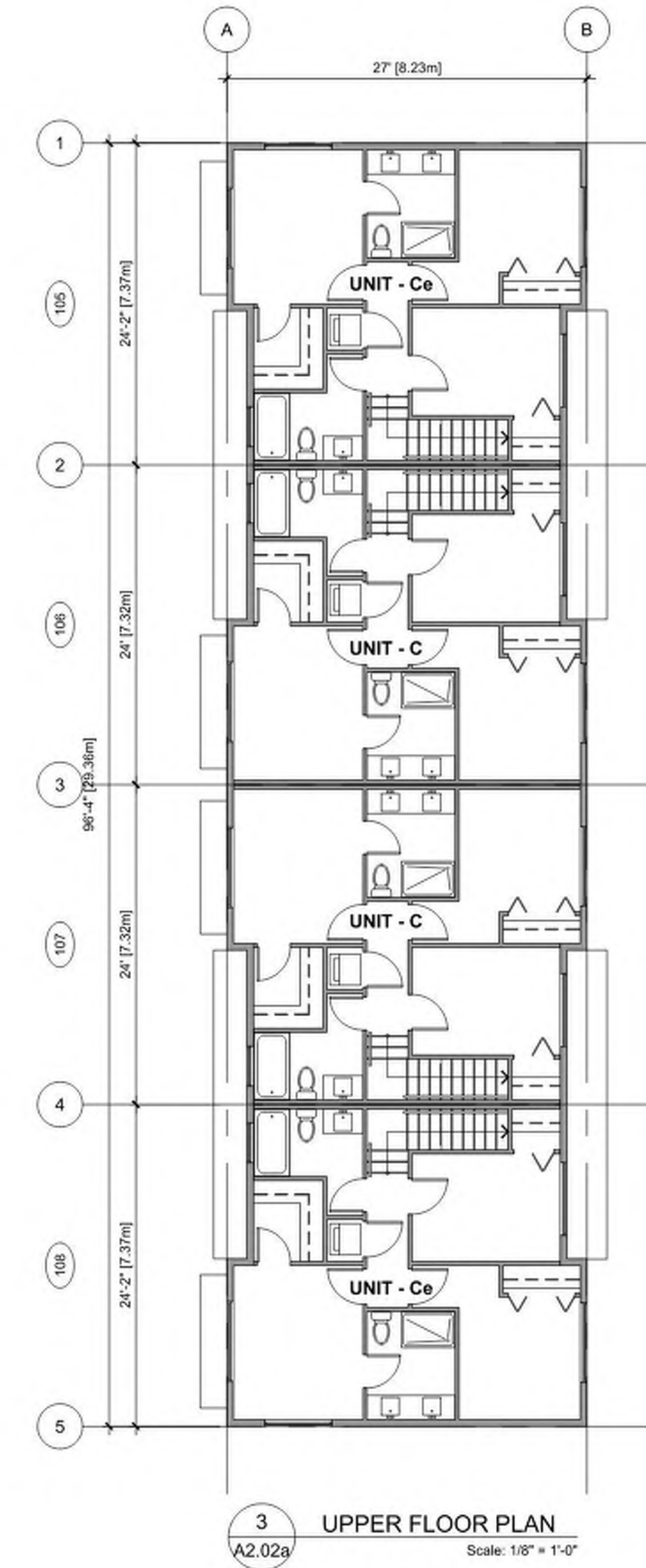
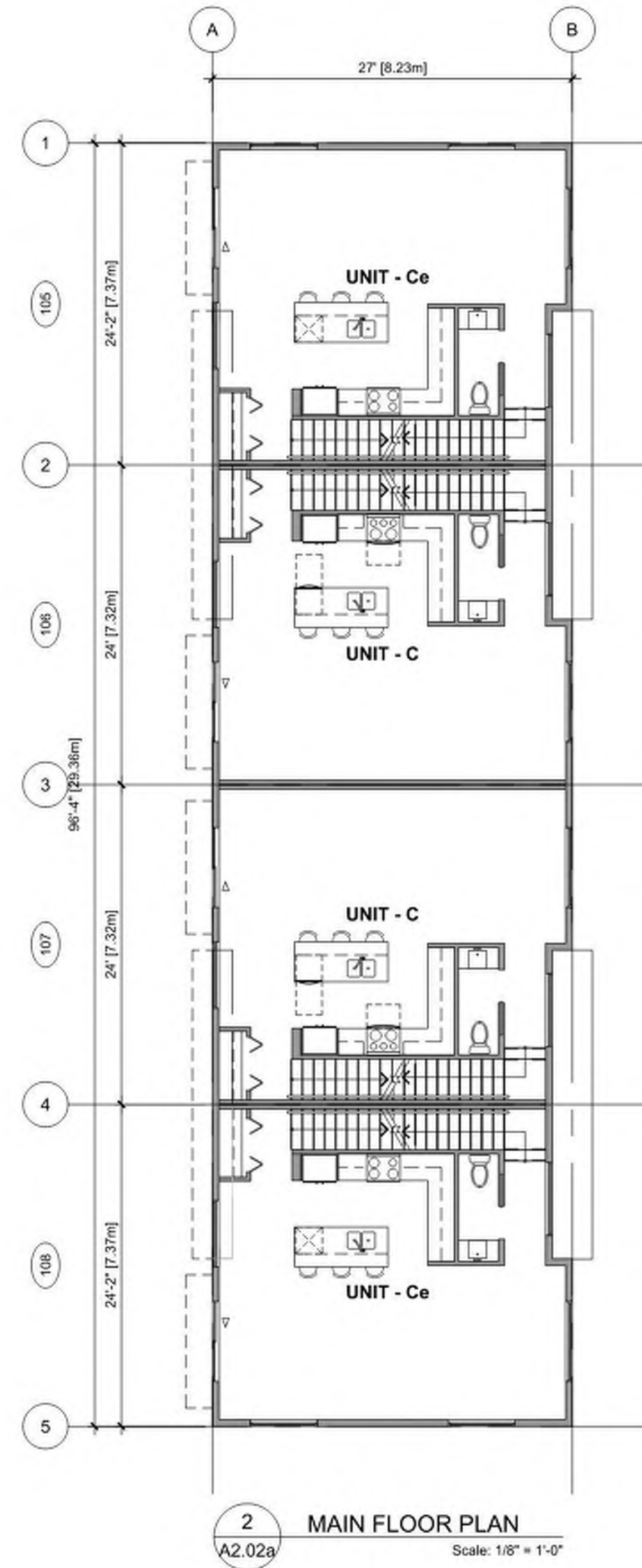
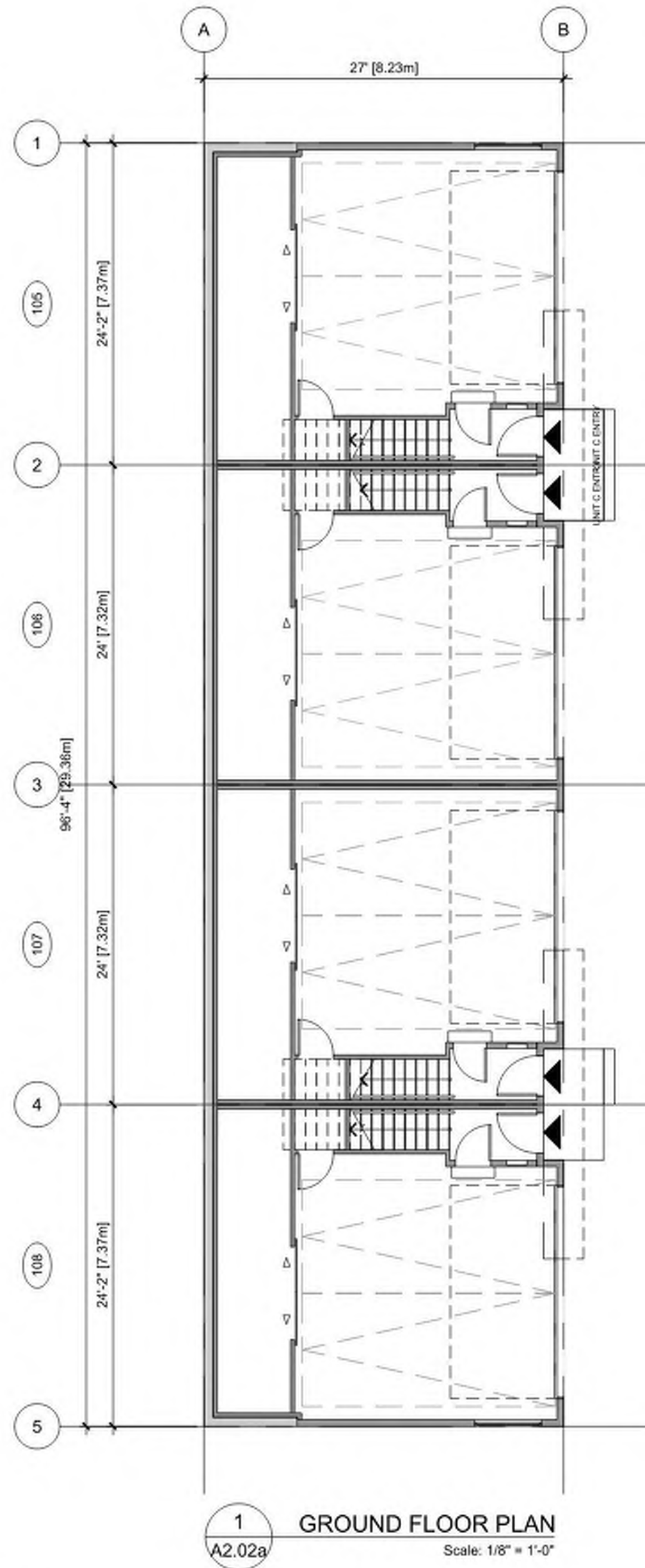
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

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DENOTES 1 HR. FIRE
RESISTANCE RATING

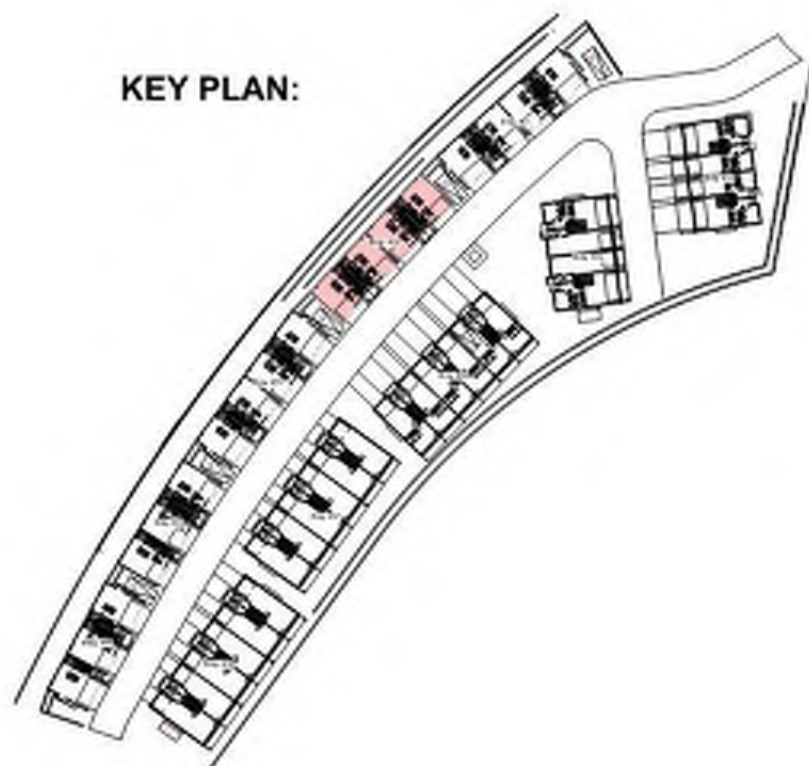
2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
- WALL ASSEMBLY MARK
- FLOOR & ROOF
ASSEMBLY MARK
- DOOR MARK
- WINDOW MARK
- DETAIL NUMBER
REFERENCE DRAWING
- BUILDING SECTION
MARK
- DW DISH WASHER
- F. REFRIGERATOR
- F.G. FINISHED GRADE
- P. PANTRY
- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



KEY PLAN:



REVISIONS

ISSUES	DATE
8	
7	
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4	REISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER DO-92

DRAWN BY HA / PM / BL

CHECKED BY RR

DATE CHECKED

CONSULTANT



PROJECT

**ABSTRACT
DEVELOPMENTS**

TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

**BUILDING #2
FLOOR PLANS**

DRAWING No.

BUILDING #2 AREAS	S.F.	S.M.
- GROUND FLOOR	934.63	86.83
- MAIN FLOOR	2,531.50	235.18
- UPPER FLOOR	2,462.00	228.73
- TOTAL FLOOR AREA	5,928.13	550.74

A2.02a

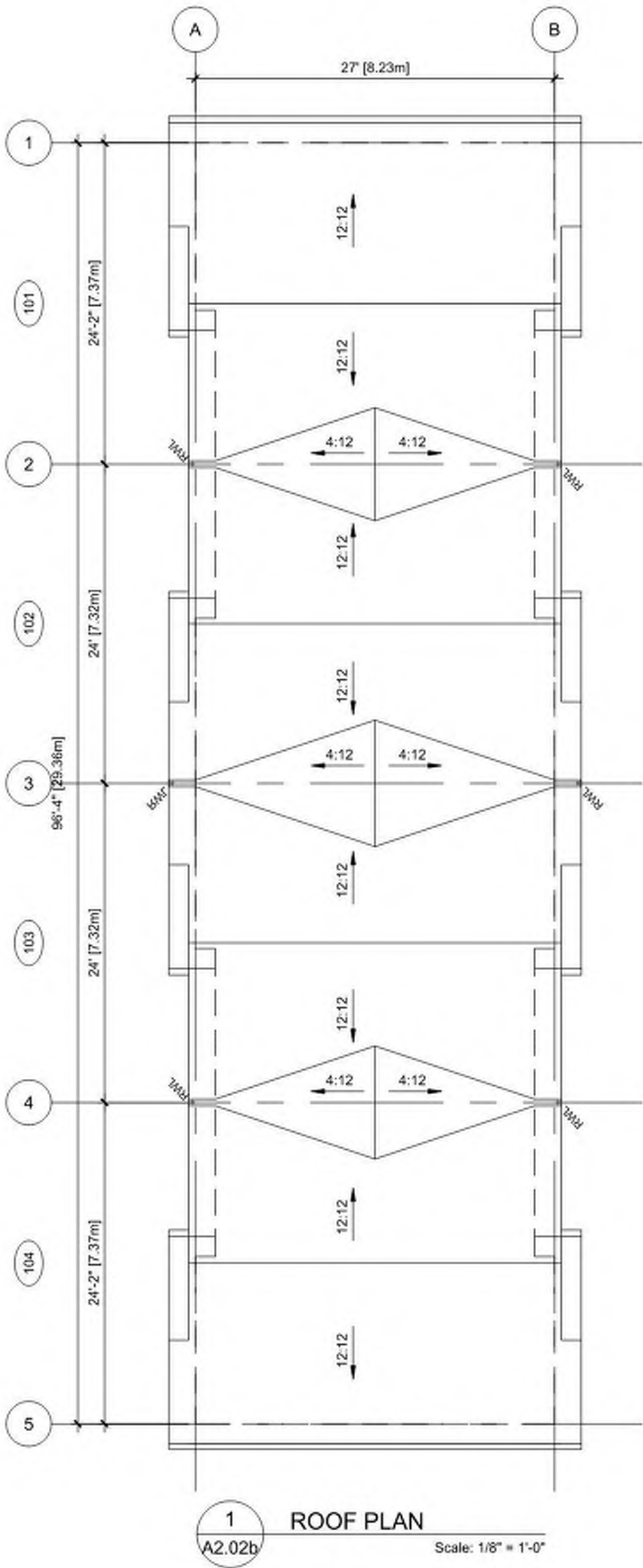
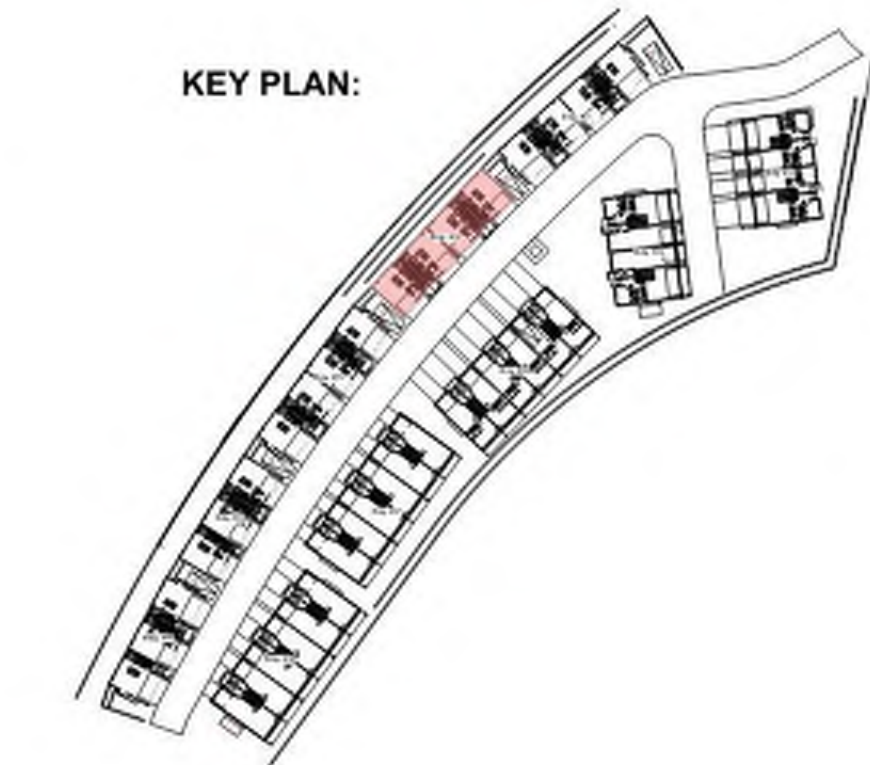
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
- WALL ASSEMBLY MARK
- FLOOR & ROOF
ASSEMBLY MARK
- DOOR MARK
- WINDOW MARK
- DETAIL NUMBER
REFERENCE DRAWING
- BUILDING SECTION
MARK
- DW DISH WASHER
- F. REFRIGERATOR
- F.G. FINISHED GRADE
- P. PANTRY
- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



REVISIONS	
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ISSUES	DATE
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION
2023-06-20	
2023-05-24	
2023-03-01	
2022-10-17	
PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	

PROJECT
ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC
DRAWING TITLE
BUILDING #2 ROOF PLANS
DRAWING No.

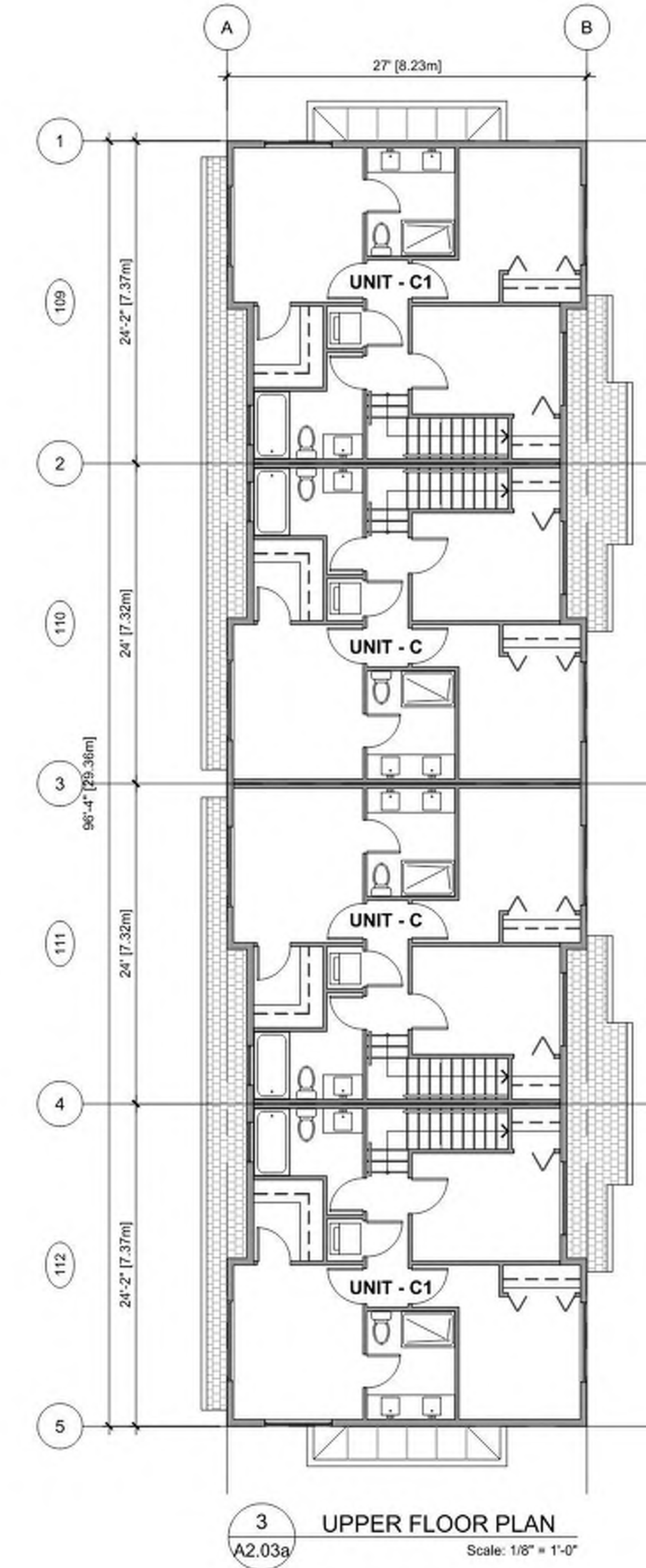
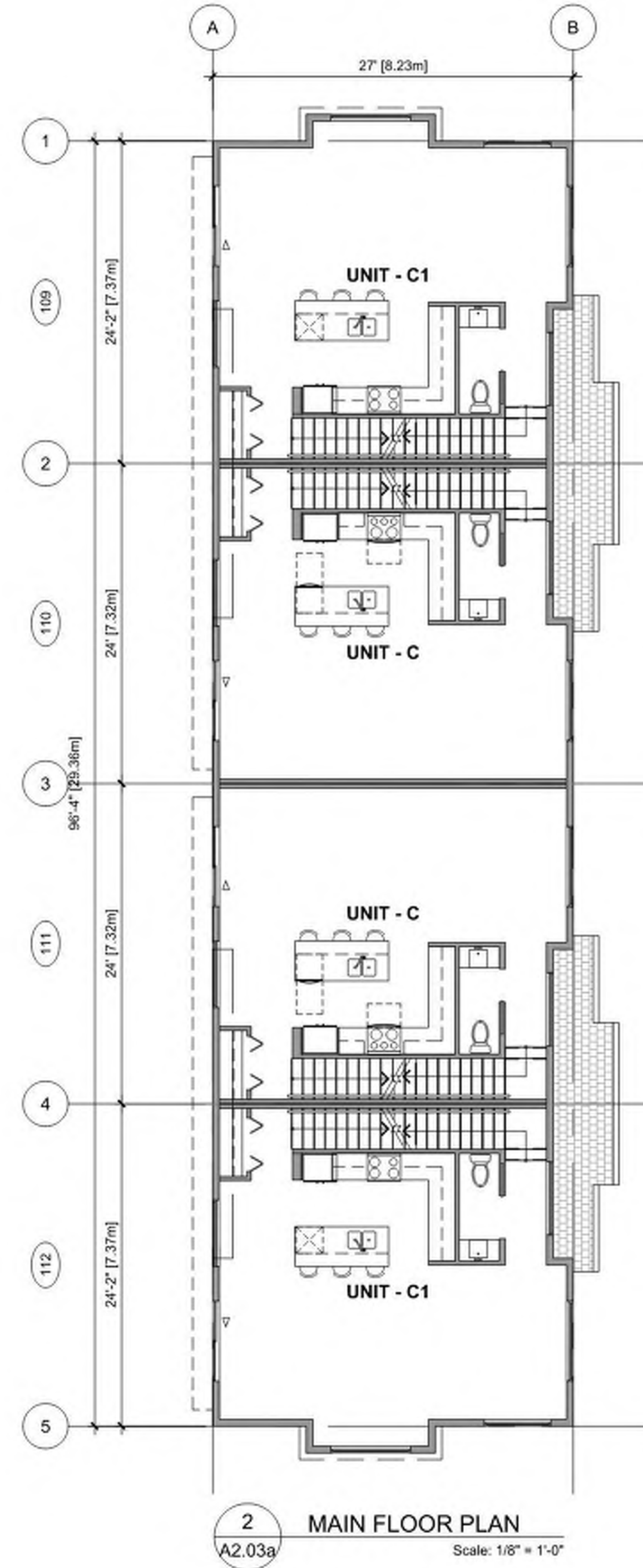
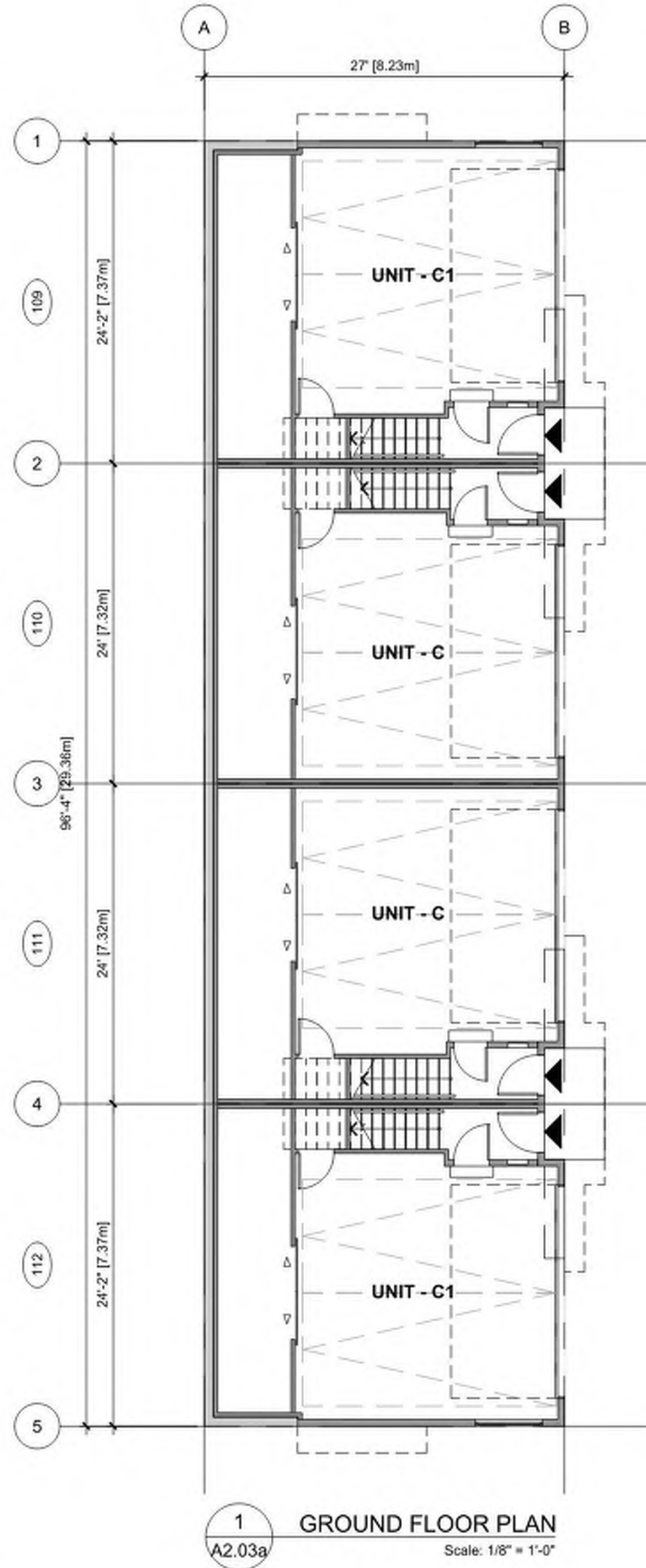
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FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

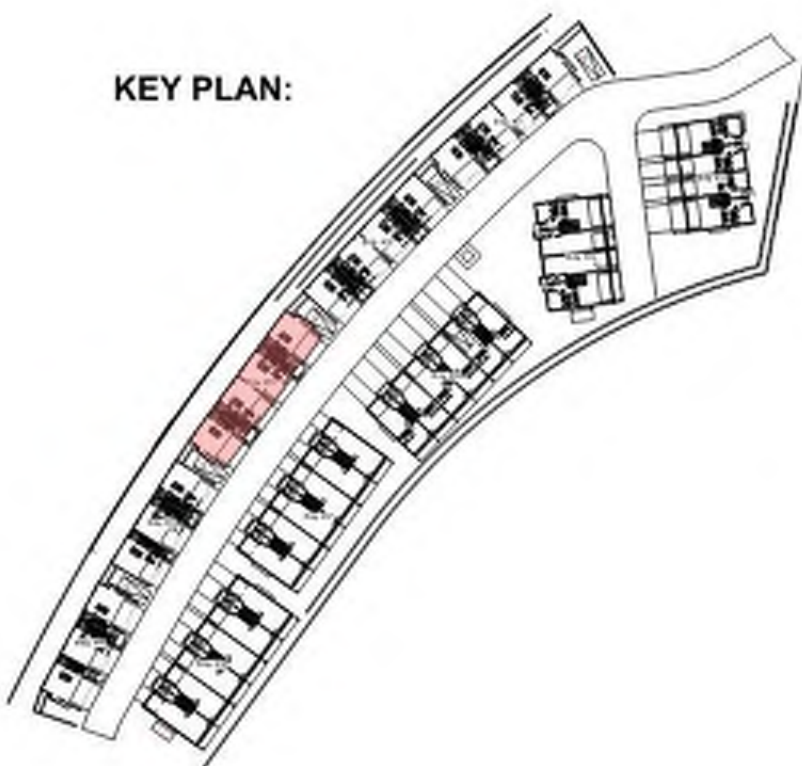
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DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
- WALL ASSEMBLY MARK
- FLOOR & ROOF
ASSEMBLY MARK
- DOOR MARK
- WINDOW MARK
- DETAIL NUMBER
REFERENCE DRAWING
- BUILDING SECTION
MARK
- DW DISH WASHER
- F. REFRIGERATOR
- F.G. FINISHED GRADE
- P. PANTRY
- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



KEY PLAN:



REVISIONS	
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ISSUES	DATE
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION
PROJECT NUMBER DO-92	
DRAWN BY HA / PM / BL	
CHECKED BY RR	
DATE CHECKED	
CONSULTANT	



PROJECT
**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC

DRAWING TITLE
**BUILDING #3
FLOOR PLANS**

DRAWING No.

BUILDING #3 AREAS	S.F.	S.M.
- GROUND FLOOR	934.63	86.83
- MAIN FLOOR	2,570.17	238.78
- UPPER FLOOR	2,462.00	228.73
- TOTAL FLOOR AREA	5,966.79	554.33

A2.03a

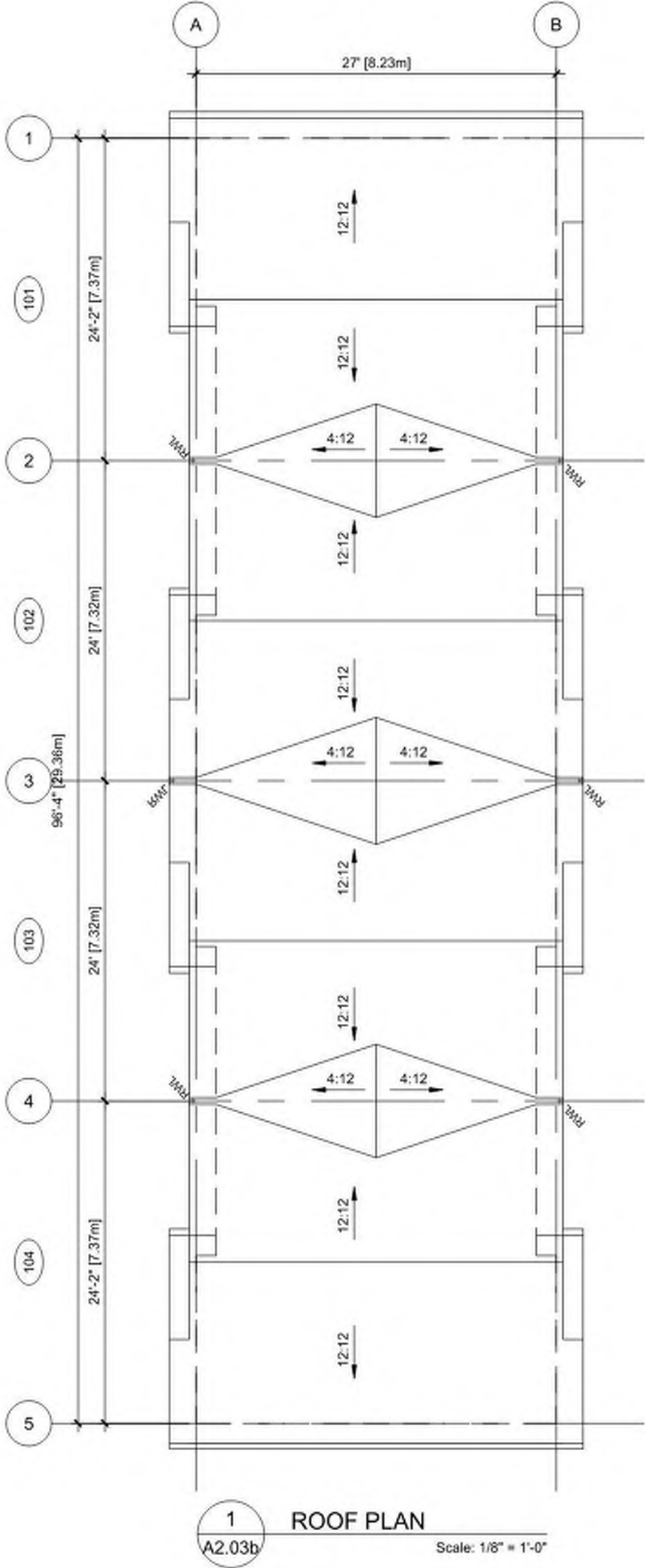
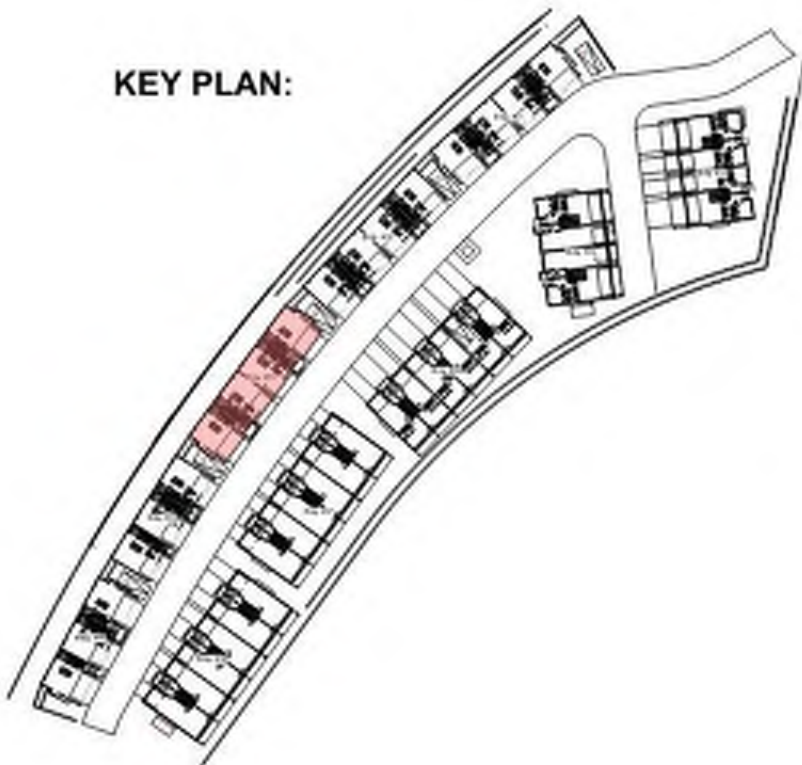
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FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
- WALL ASSEMBLY MARK
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REFERENCE DRAWING
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- F.G. FINISHED GRADE
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- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



REVISIONS	
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4	REISSUED FOR DP APPLICATION
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2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION
PROJECT NUMBER DO-92	
DRAWN BY HA / PM / BL	
CHECKED BY RR	
DATE CHECKED	
CONSULTANT	

PROJECT
ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC
DRAWING TITLE
BUILDING #3 ROOF PLANS
DRAWING No.

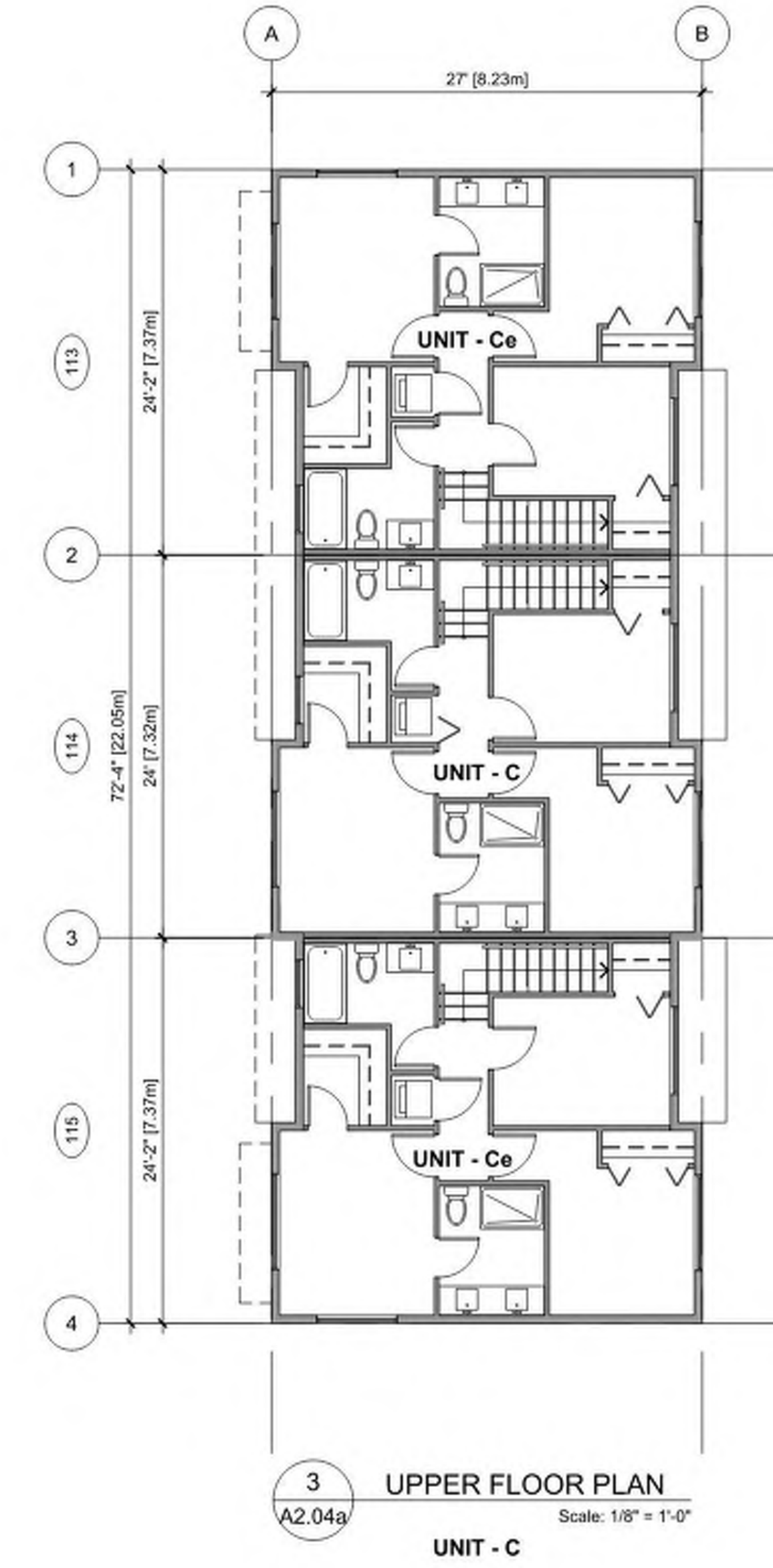
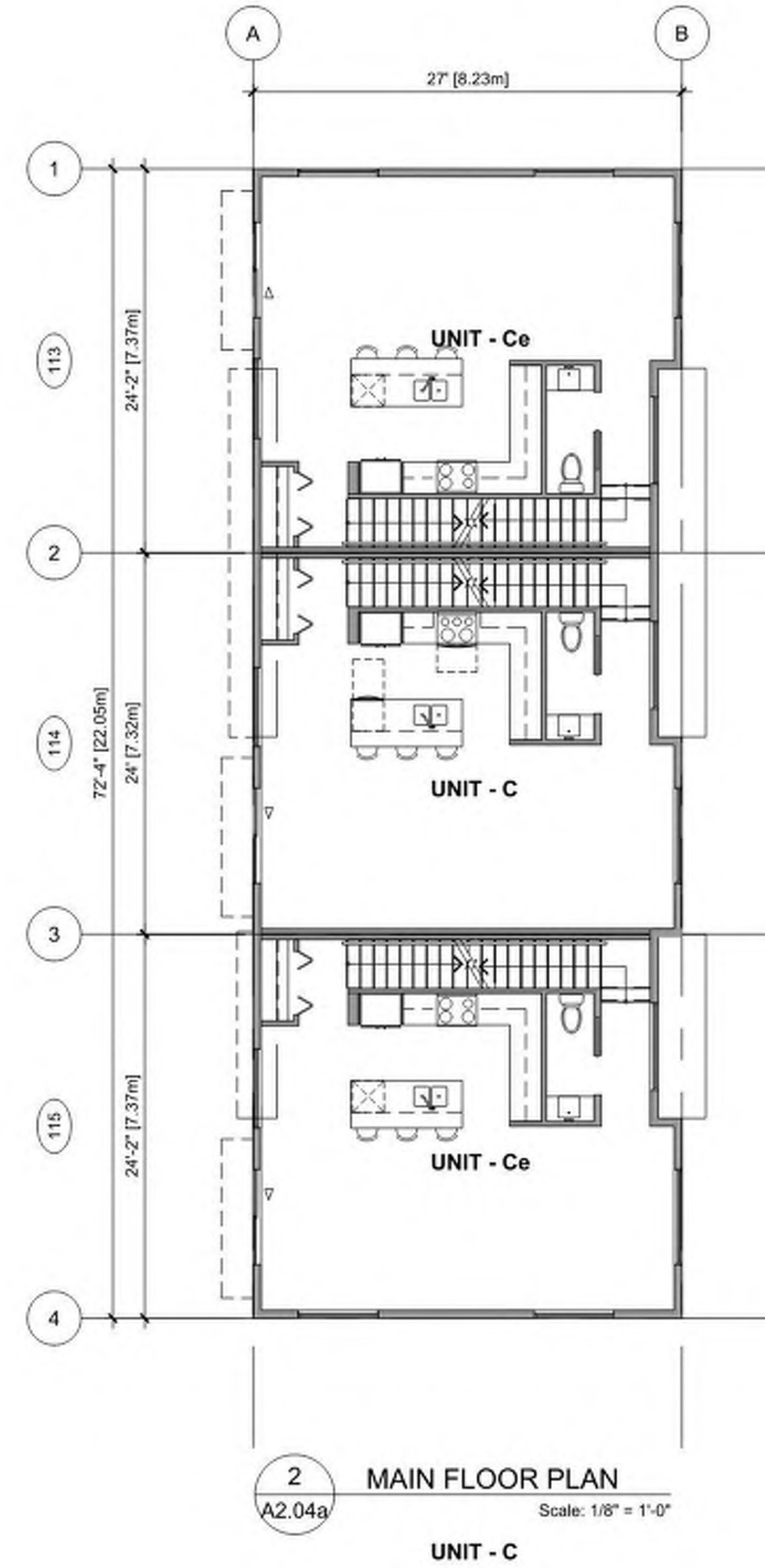
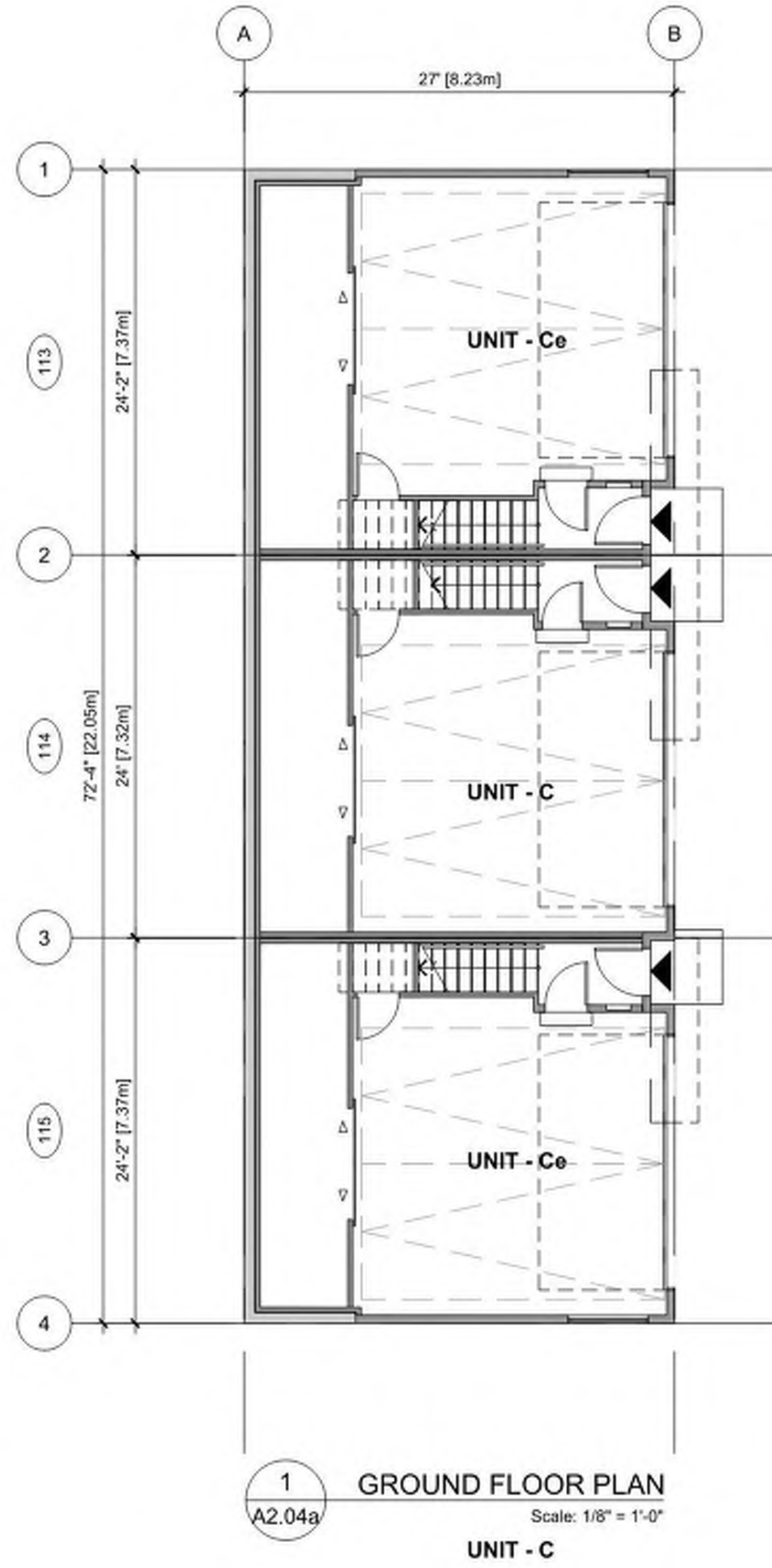
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

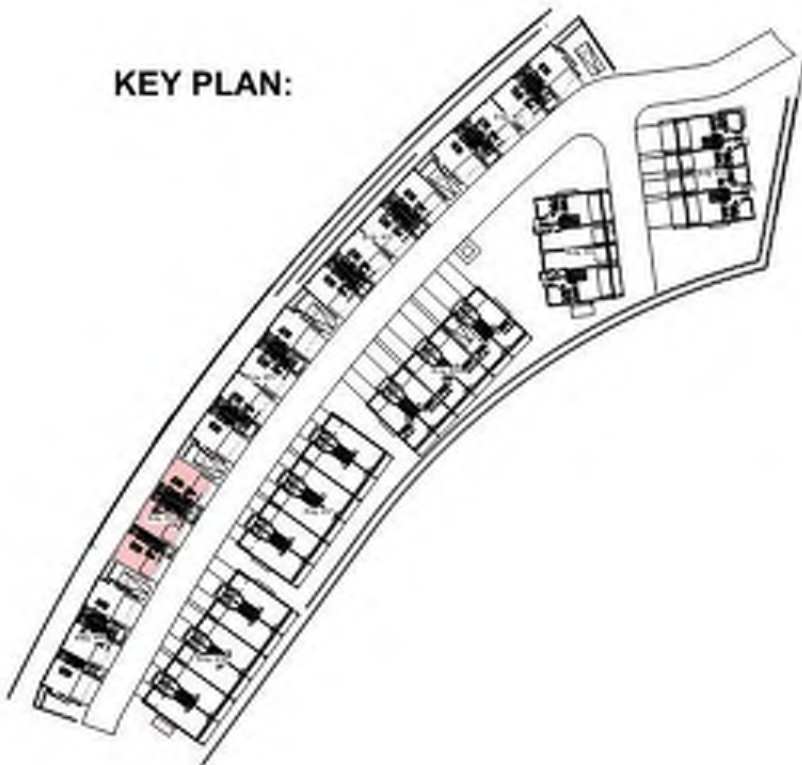
2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
- WALL ASSEMBLY MARK
- FLOOR & ROOF
ASSEMBLY MARK
- DOOR MARK
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MARK
- DW DISH WASHER
- F. REFRIGERATOR
- F.G. FINISHED GRADE
- P. PANTRY
- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



KEY PLAN:



REVISIONS	
1	
ISSUES	
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

**BUILDING #4
FLOOR PLANS**

DRAWING No.

BUILDING #4 AREAS	S.F.	S.M.
- GROUND FLOOR	701.52	65.17
- MAIN FLOOR	1,901.13	176.62
- UPPER FLOOR	1,849.25	171.80
- TOTAL FLOOR AREA	4,451.90	413.59

A2.04a

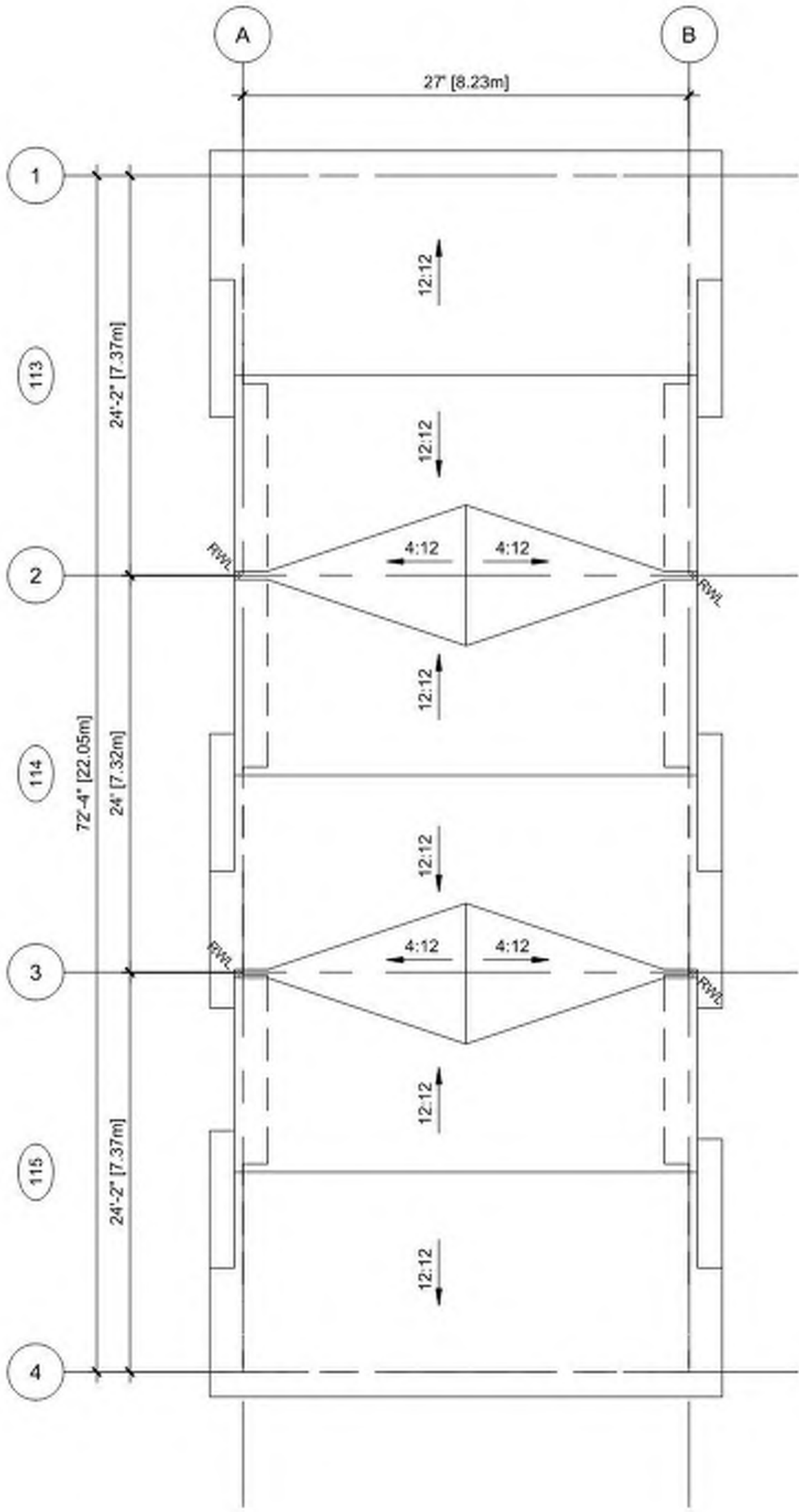
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

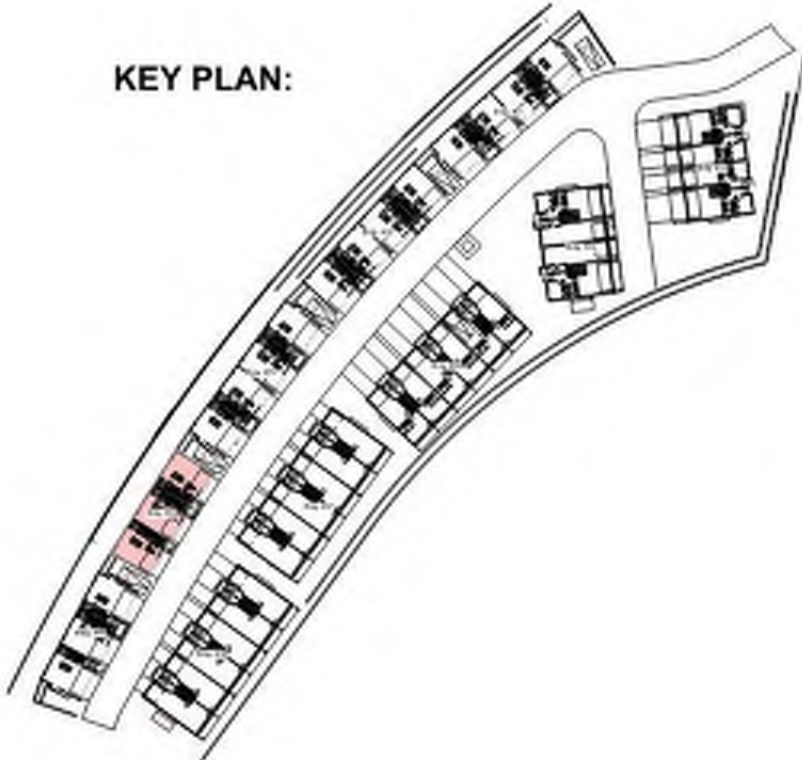
2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING


LEGEND:

- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
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- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



KEY PLAN:



REVISIONS	
1	
ISSUES	DATE
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION
PROJECT NUMBER DO-92	
DRAWN BY HA / PM / BL	
CHECKED BY RR	
DATE CHECKED	
CONSULTANT	
	

PROJECT
ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC

DRAWING TITLE
BUILDING #4 ROOF PLANS

DRAWING No.
A2.04b

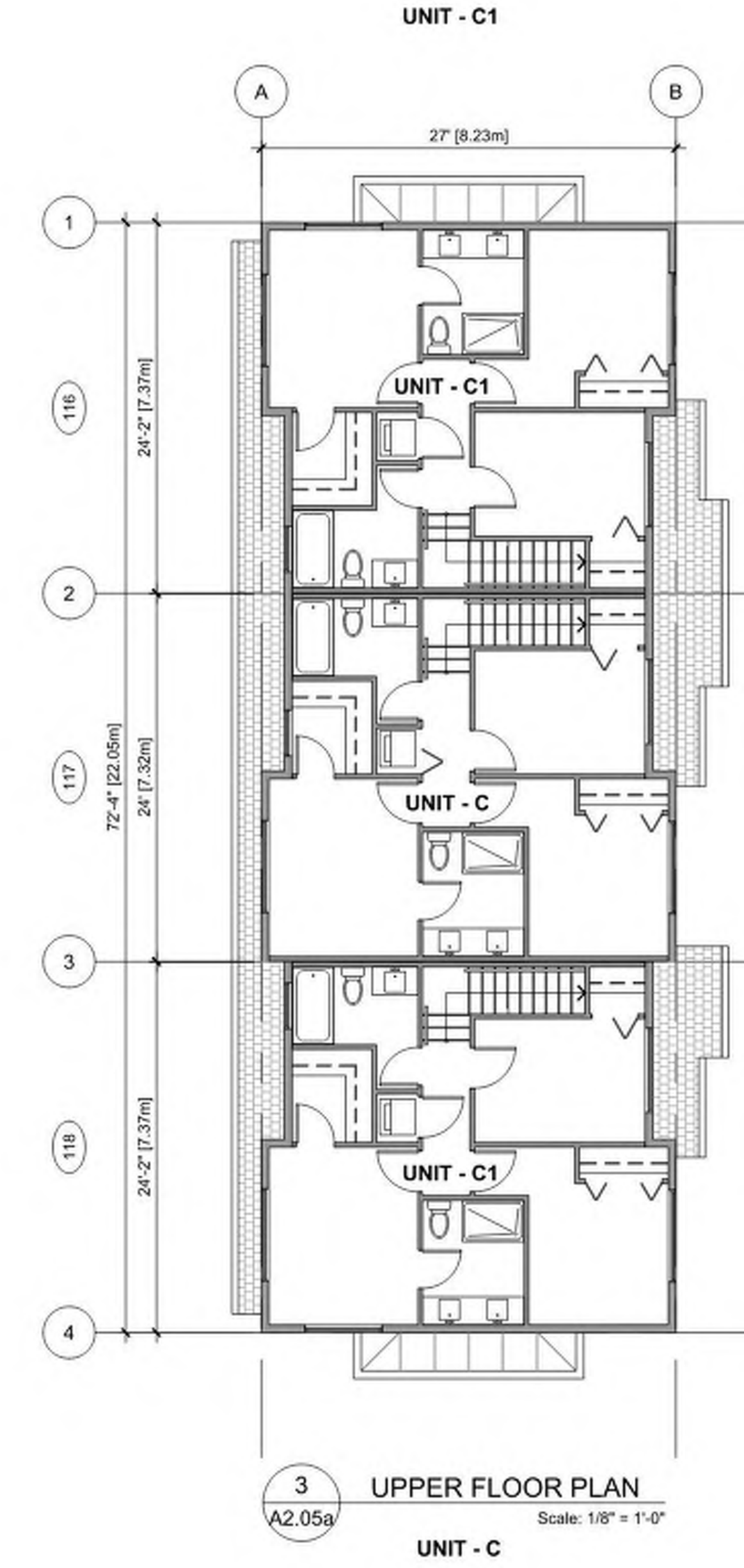
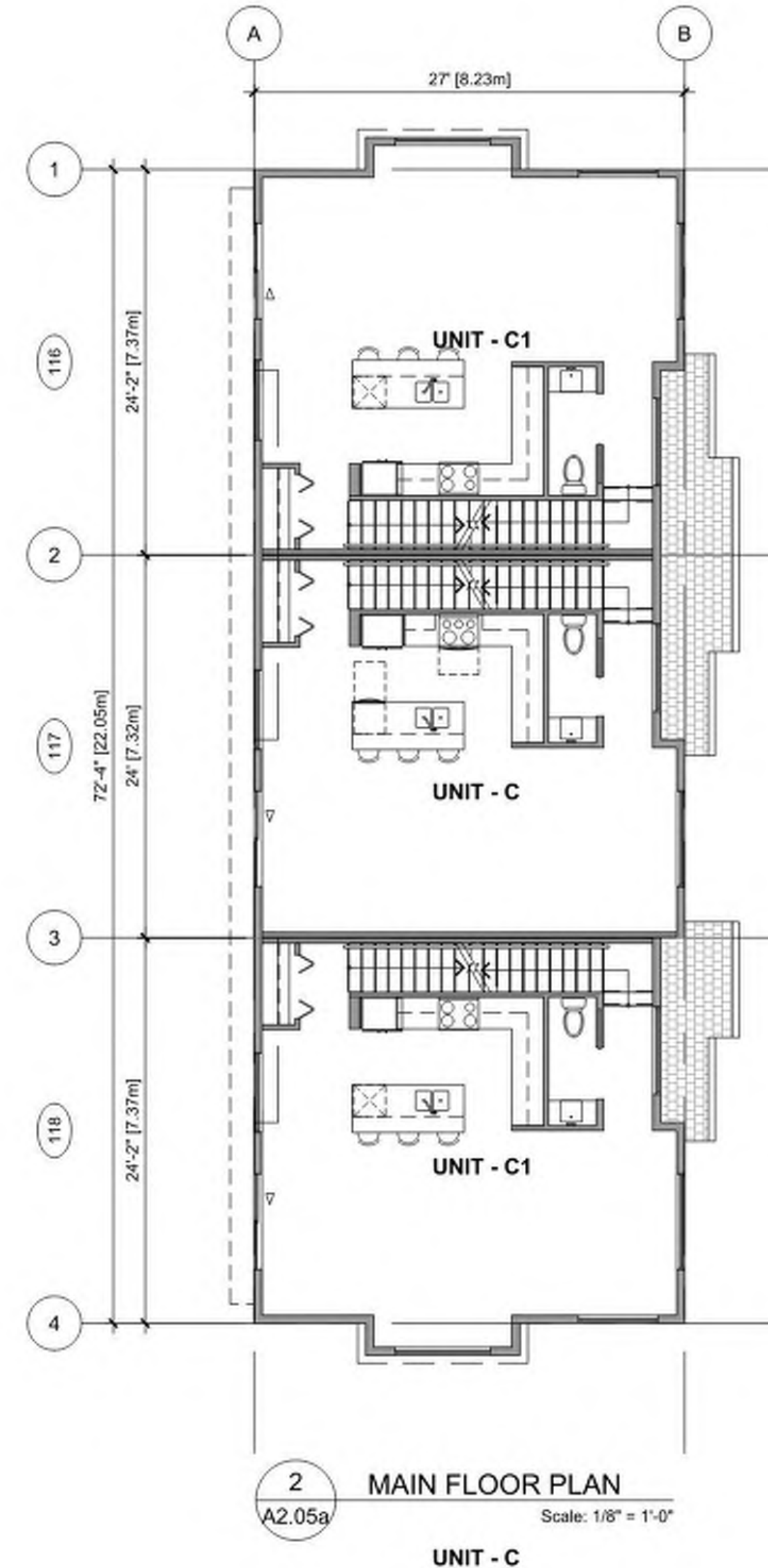
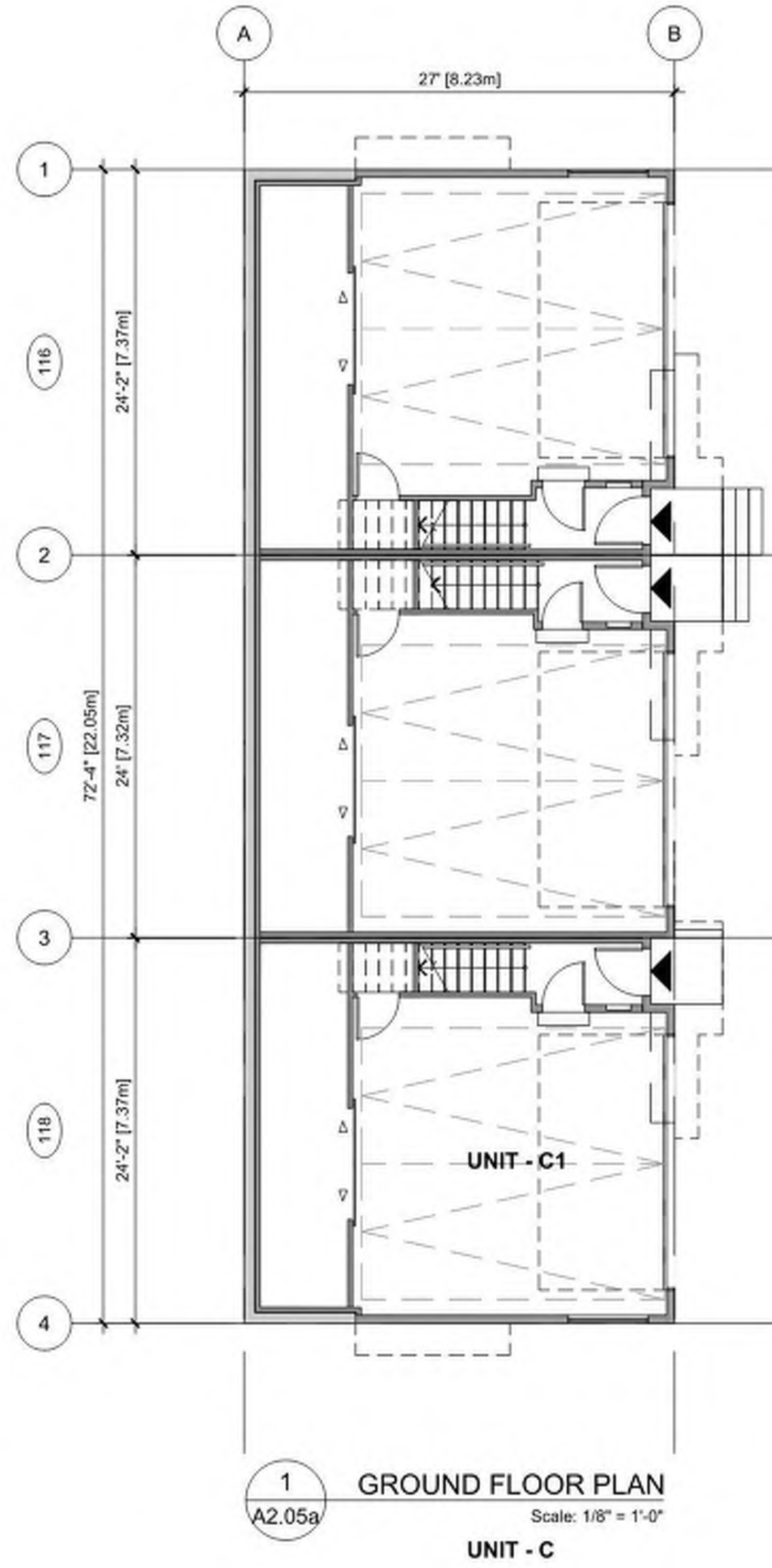
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

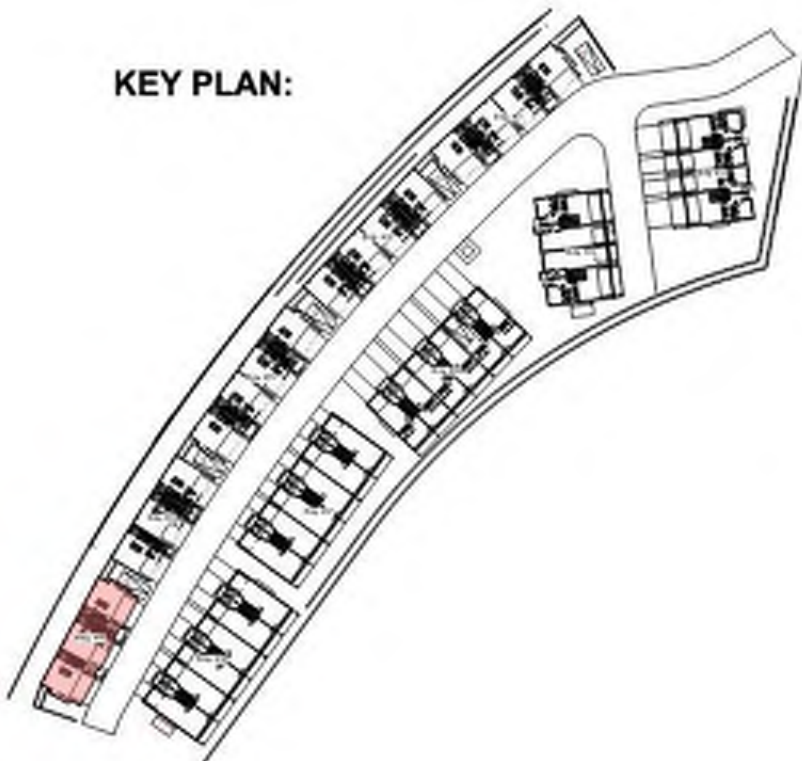
2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
- WALL ASSEMBLY MARK
- FLOOR & ROOF
ASSEMBLY MARK
- DOOR MARK
- WINDOW MARK
- DETAIL NUMBER
REFERENCE DRAWING
- BUILDING SECTION
MARK
- DW DISH WASHER
- F. REFRIGERATOR
- F.G. FINISHED GRADE
- P. PANTRY
- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



KEY PLAN:



REVISIONS	
1	
ISSUES	
8	
7	
6	
5	
4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT
**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE
**BUILDING #5
FLOOR PLANS**

DRAWING No.

BUILDING #5 AREAS	S.F.	S.M.
- GROUND FLOOR	701.52	65.17
- MAIN FLOOR	1,939.79	180.21
- UPPER FLOOR	1,849.25	171.80
- TOTAL FLOOR AREA	4,490.57	417.19

A2.05a

1hr

DENOTES 1 HR. FIRE RESISTANCE RATING

2hr

DENOTES 2 HR. FIRE RESISTANCE RATING

LEGEND:

TYPICAL BULKHEAD / DROPPED CEILING

FIRE RATED DROPPED CEILING

RWL (RAIN WATER LEADER)

RWL TO BELOW

BRICK CLADDING / BRICK LEDGE

WALL ASSEMBLY MARK

FLOOR & ROOF ASSEMBLY MARK

DOOR MARK

WINDOW MARK

DETAIL NUMBER
REFERENCE DRAWING

BUILDING SECTION MARK

DW DISH WASHER

F. REFRIGERATOR

F.G. FINISHED GRADE

P. PANTRY

T.O.S. TOP OF SLAB

W/D WASHER / DRYER

6" THICK FOUNDATION WALL

SMOKE/CO DETECTOR
REFER TO ELECTRICAL

KEY PLAN:

EKISTICS

Architecture

1925 Main Street
Vancouver, BC,
Canada, V5T 3C1
T. 604.876.5050
F. 604.876.5060
ekistics.com

REVISIONS	
1	
ISSUES	DATE
8	
7	
6	
5	
4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION
PROJECT NUMBER DO-92	
DRAWN BY HA / PM / BL	
CHECKED BY RR	
DATE CHECKED	
CONSULTANT	
<div><div>REGISTERED ARCHITECT</div><div>MARK BLACKWOOD</div><div>2023-06-21</div><div>BRITISH COLUMBIA</div></div>	

PROJECT

ABSTRACT DEVELOPMENTS

TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

**BUILDING #5
ROOF PLANS**

DRAWING No.

A2.05b

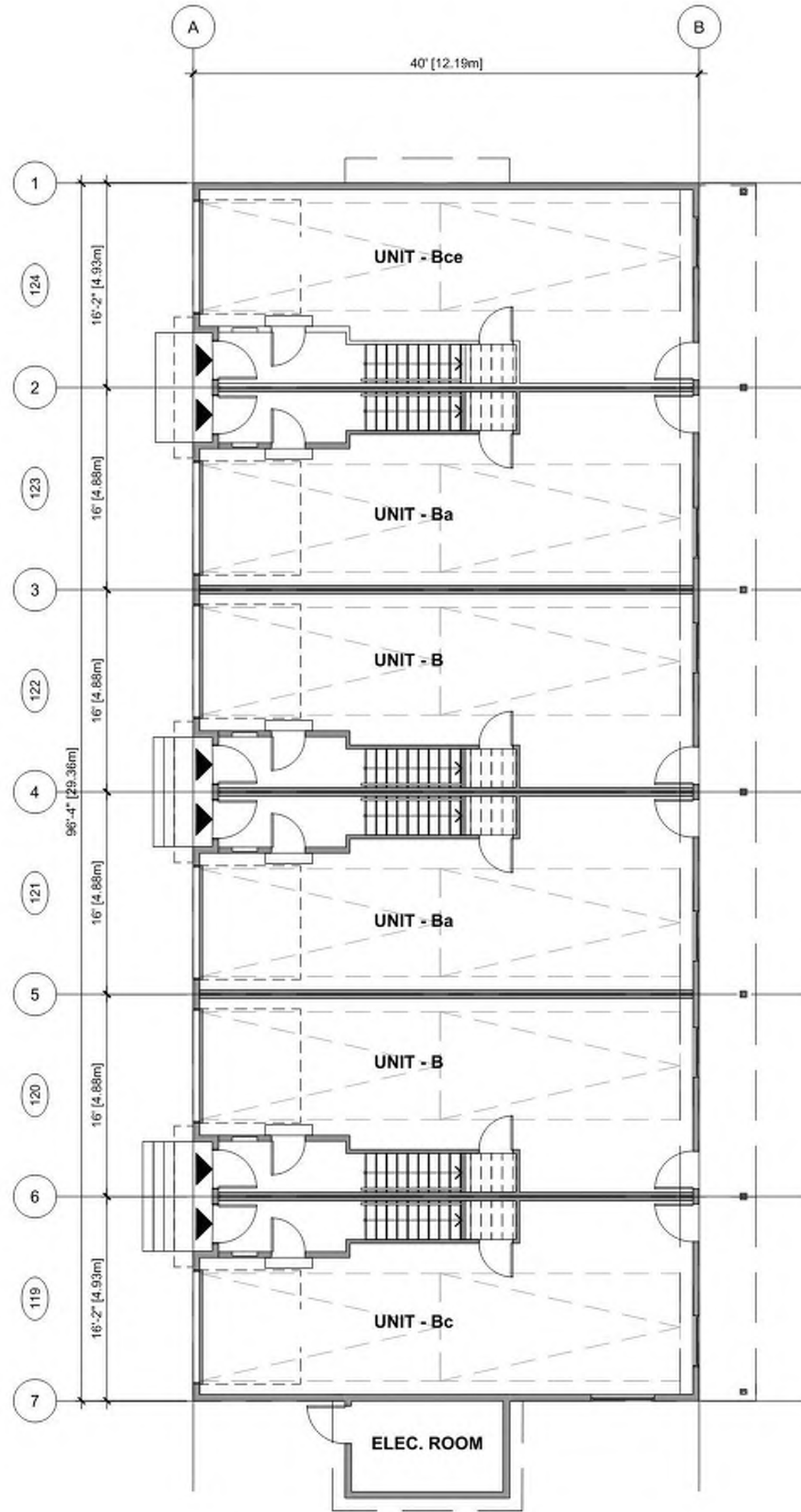
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

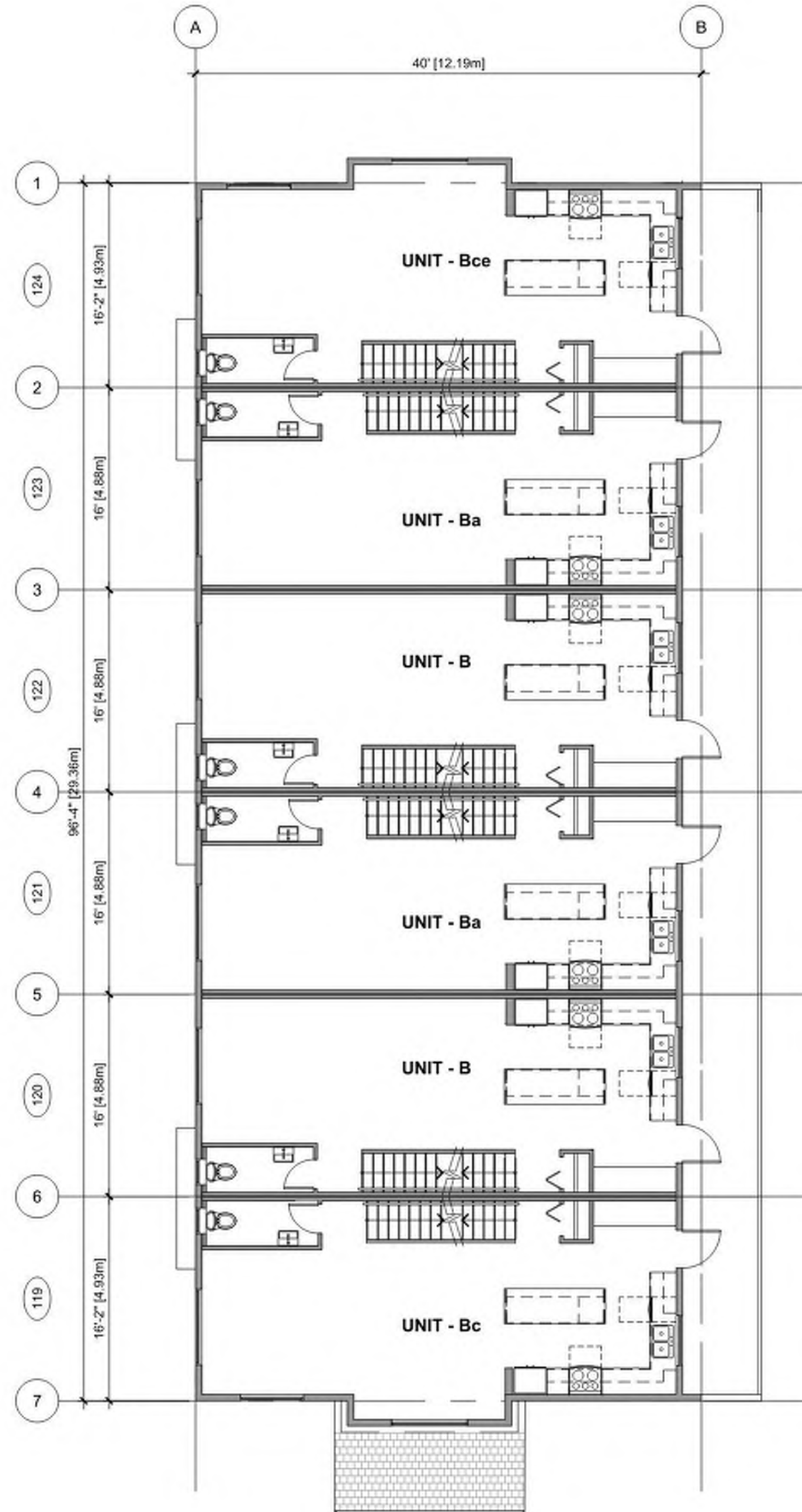
2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

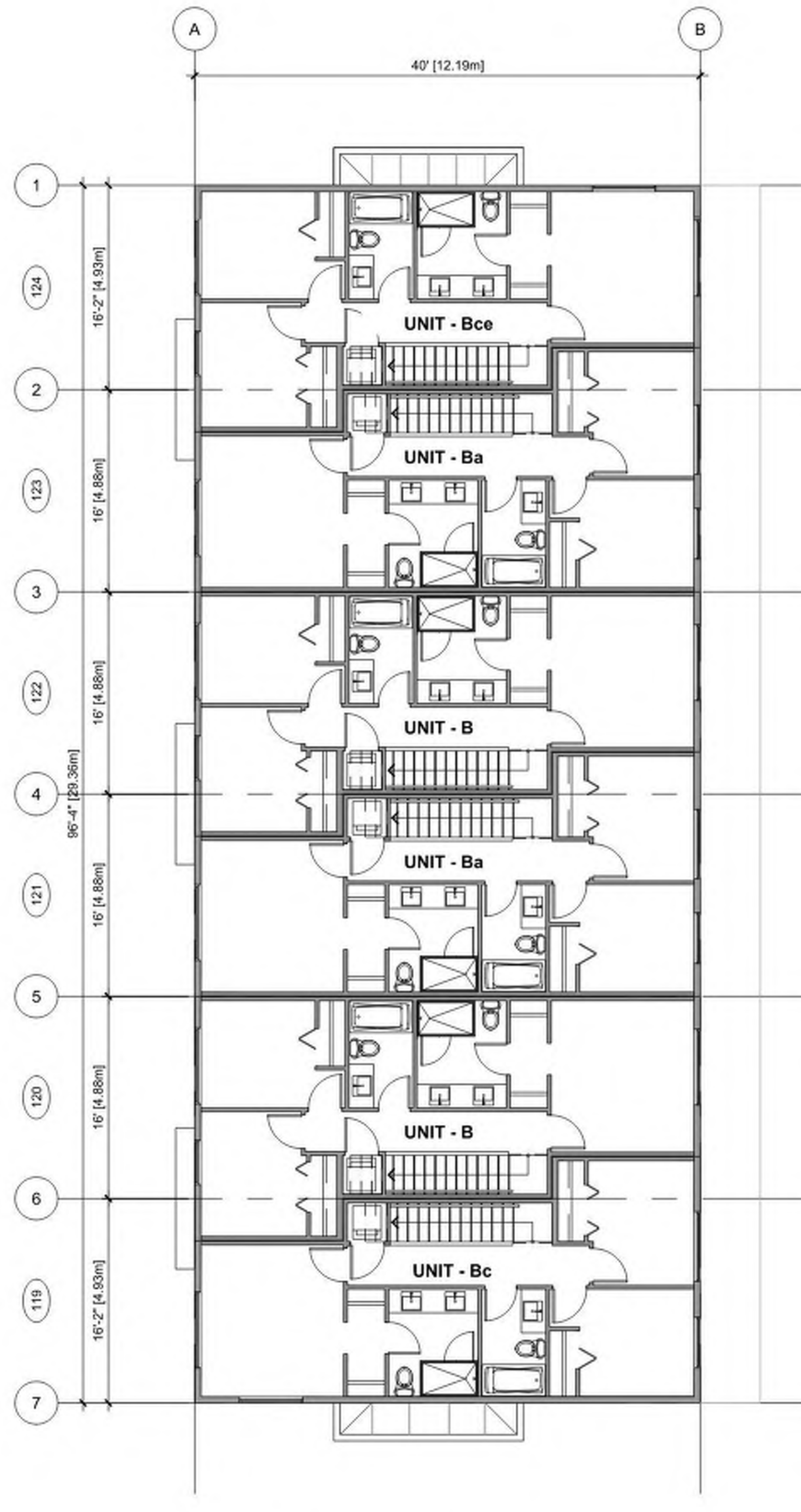
- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
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- FLOOR & ROOF
ASSEMBLY MARK
- DOOR MARK
- WINDOW MARK
- DETAIL NUMBER
REFERENCE DRAWING
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- DW DISH WASHER
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- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



1 GROUND FLOOR PLAN
A2.06a Scale: 1/8" = 1'-0"

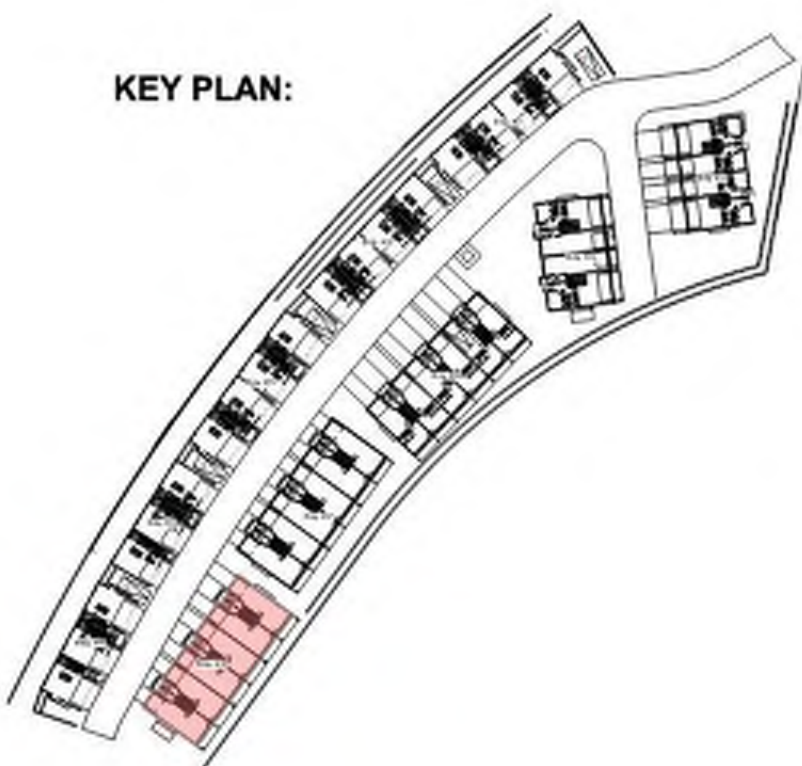


2 MAIN FLOOR PLAN
A2.06a Scale: 1/8" = 1'-0"



3 UPPER FLOOR PLAN
A2.06a Scale: 1/8" = 1'-0"

KEY PLAN:



REVISIONS	
ISSUES	DATE
8	
7	
6	
5	
4	REISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT
**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC

DRAWING TITLE
**BUILDING #6
FLOOR PLANS**

DRAWING No.

BUILDING #6 AREAS	S.F.	S.M.
- GROUND FLOOR	582.77	54.14
- MAIN FLOOR	3,760.27	349.34
- UPPER FLOOR	3,853.33	357.99
- TOTAL FLOOR AREA	8,196.37	761.47

A2.06a

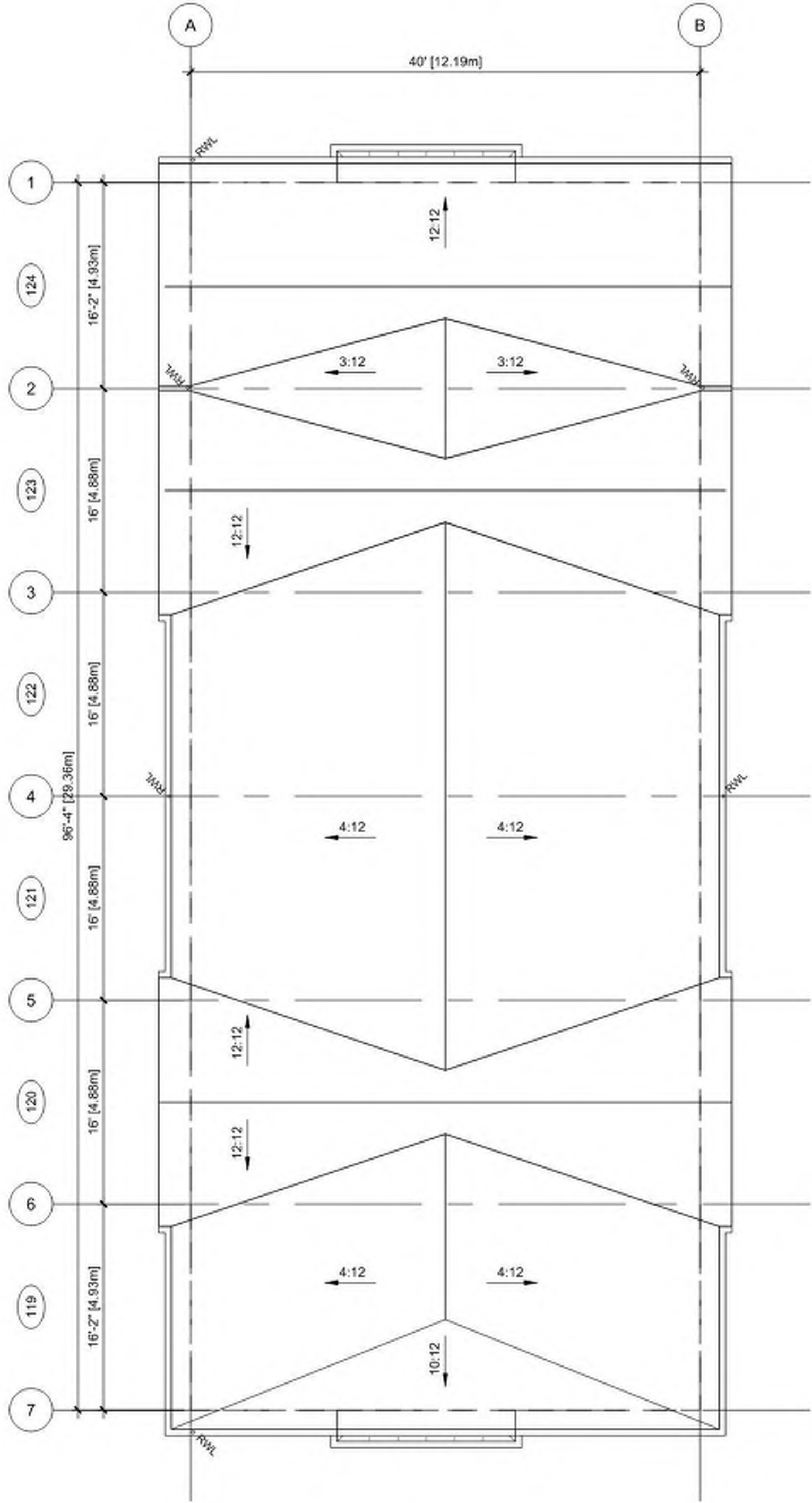
PARTY WALL & ATTIC FIRE RATINGS
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE RESISTANCE RATING

2hr
DENOTES 2 HR. FIRE RESISTANCE RATING

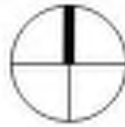
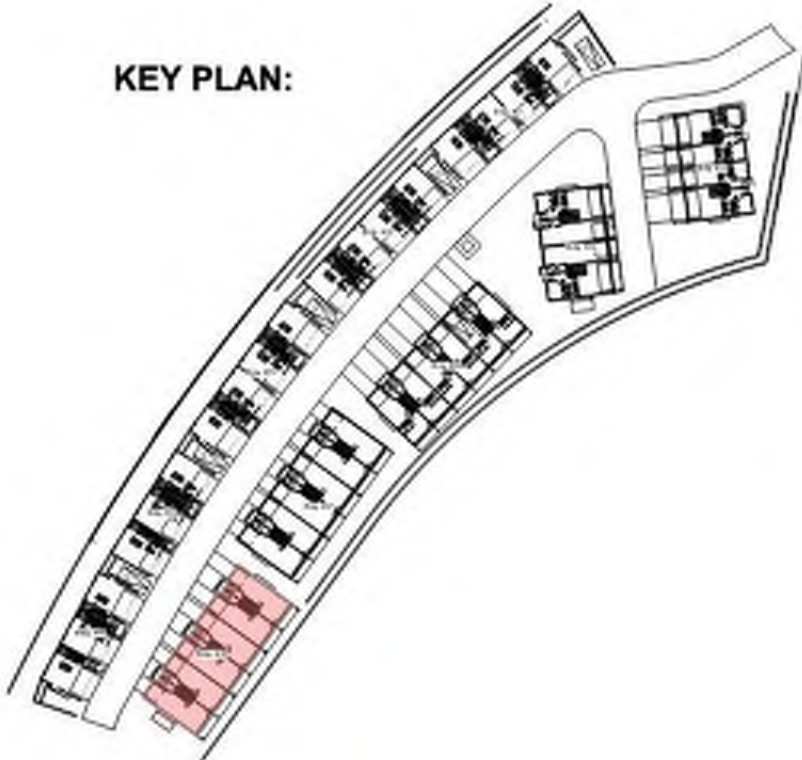
LEGEND:

- TYPICAL BULKHEAD / DROPPED CEILING
- FIRE RATED DROPPED CEILING
- RWL (RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING / BRICK LEDGE
- WALL ASSEMBLY MARK
- FLOOR & ROOF ASSEMBLY MARK
- DOOR MARK
- WINDOW MARK
- DETAIL NUMBER REFERENCE DRAWING
- BUILDING SECTION MARK
- DW DISH WASHER
- F. REFRIGERATOR
- F.G. FINISHED GRADE
- P. PANTRY
- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION WALL
- SMOKE/CO DETECTOR REFER TO ELECTRICAL



1 ROOF PLAN
A2.06b
Scale: 1/8" = 1'-0"

KEY PLAN:



REVISIONS

ISSUES	DATE
8	
7	
6	
5	
4 REISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER DO-92

DRAWN BY HA / PM / BL

CHECKED BY RR

DATE CHECKED

CONSULTANT



PROJECT

ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

**BUILDING #6
ROOF PLANS**

DRAWING No.

A2.06b

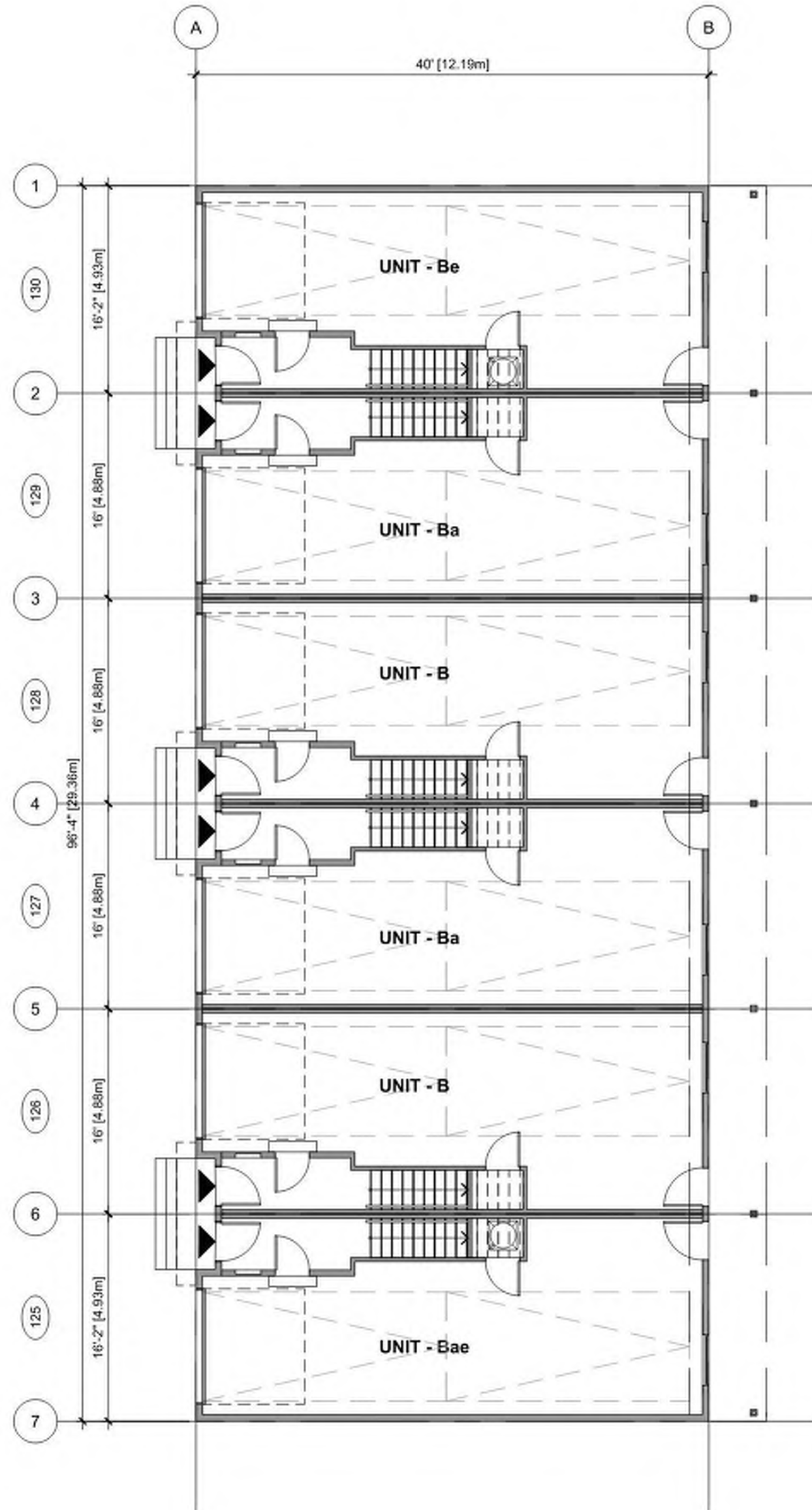
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

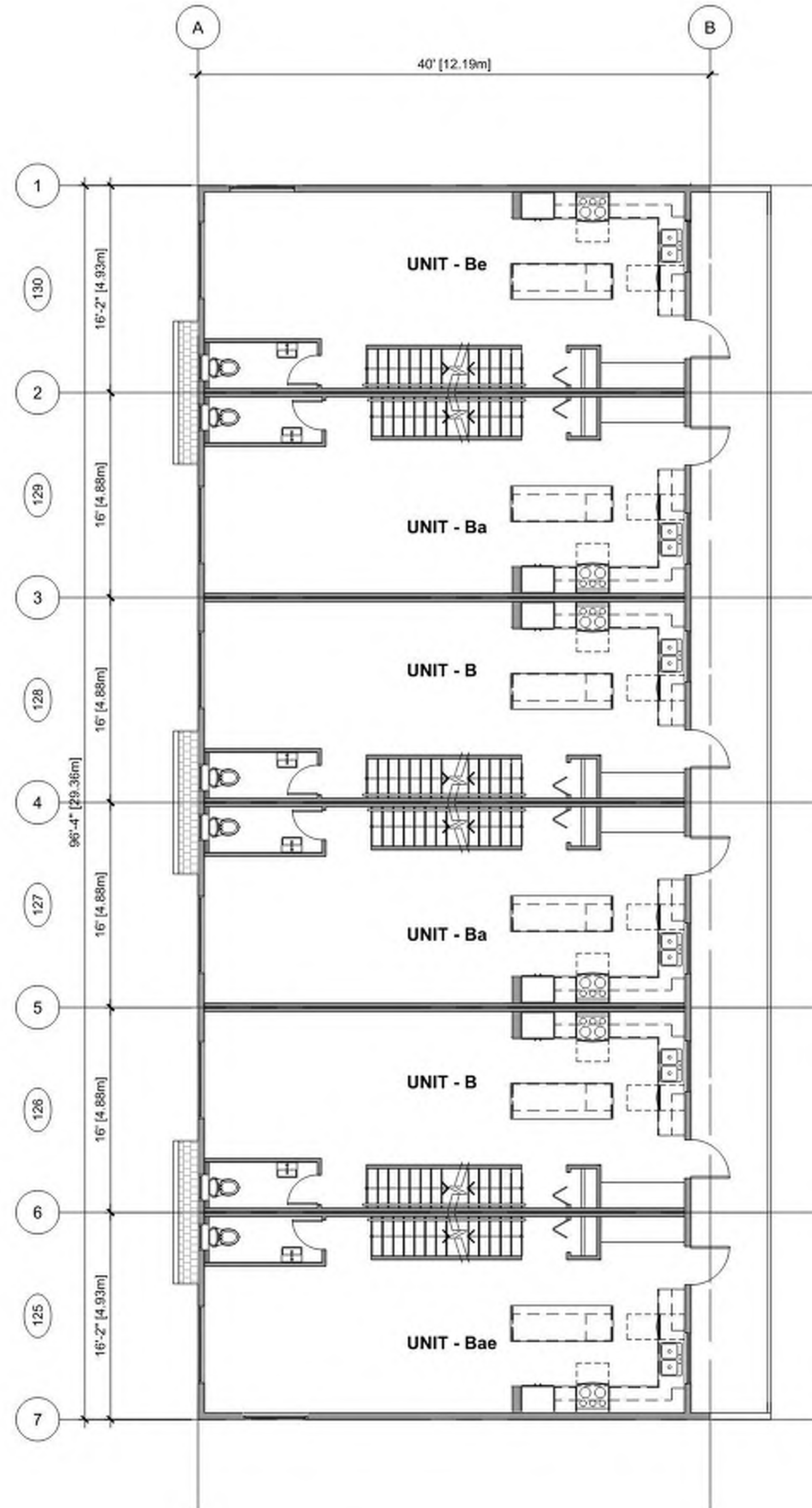
2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

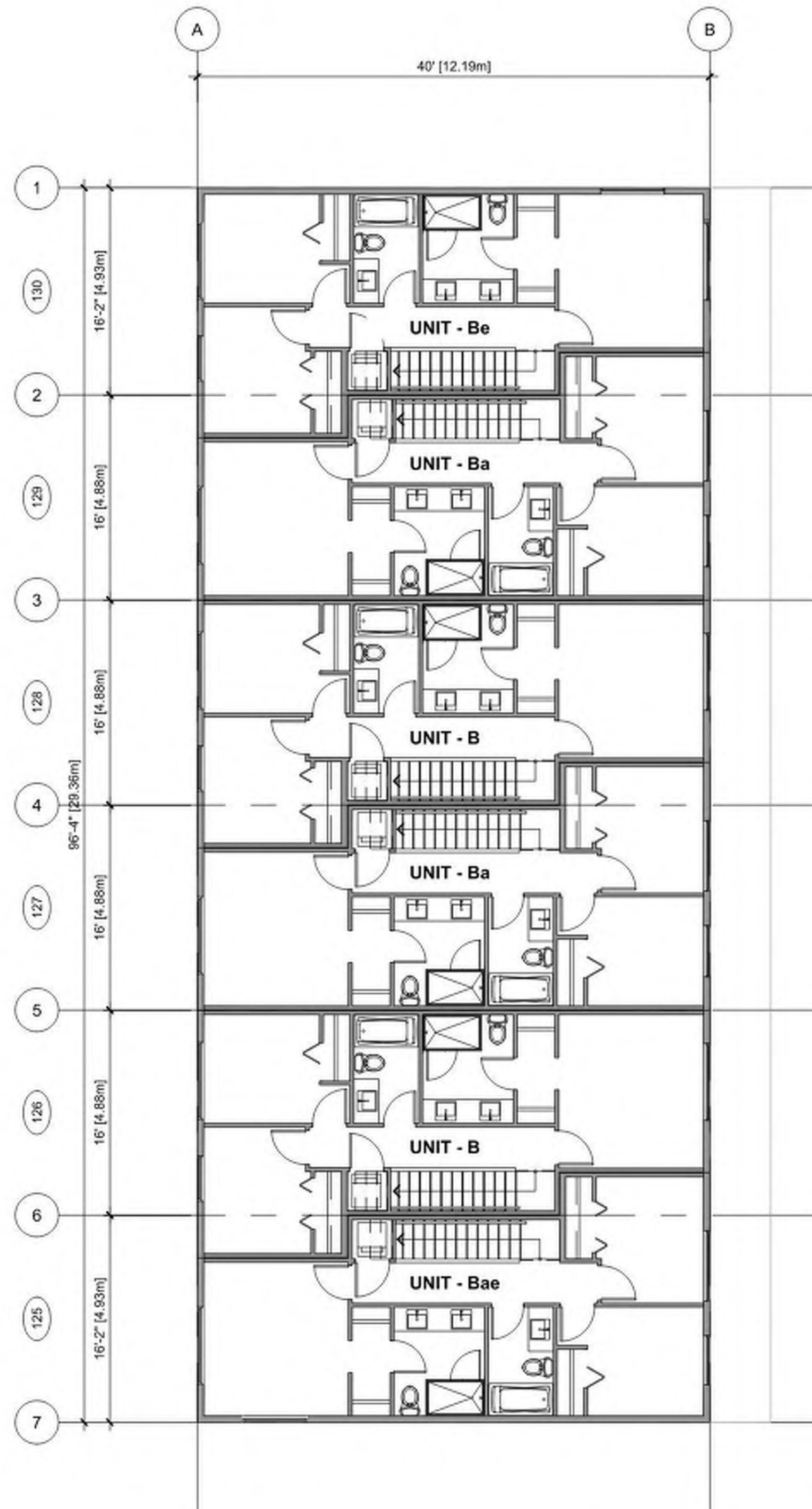
- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
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- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



1 GROUND FLOOR PLAN
A2.07a Scale: 1/8" = 1'-0"



2 MAIN FLOOR PLAN
A2.07a Scale: 1/8" = 1'-0"



3 UPPER FLOOR PLAN
A2.07a Scale: 1/8" = 1'-0"

REVISIONS	
1	
ISSUES	
8	
7	
6	
5	
4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
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1	ISSUED FOR DP APPLICATION
PROJECT NUMBER	
DD-92	
DRAWN BY	
HA / PM / BL	
CHECKED BY	
RR	
DATE CHECKED	
CONSULTANT	

PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

**BUILDING #7
FLOOR PLANS**

DRAWING No.

BUILDING #7 AREAS	S.F.	S.M.
- GROUND FLOOR	582.77	54.14
- MAIN FLOOR	3,708.80	344.56
- UPPER FLOOR	3,853.33	357.99
- TOTAL FLOOR AREA	8,144.90	756.69

A2.07a

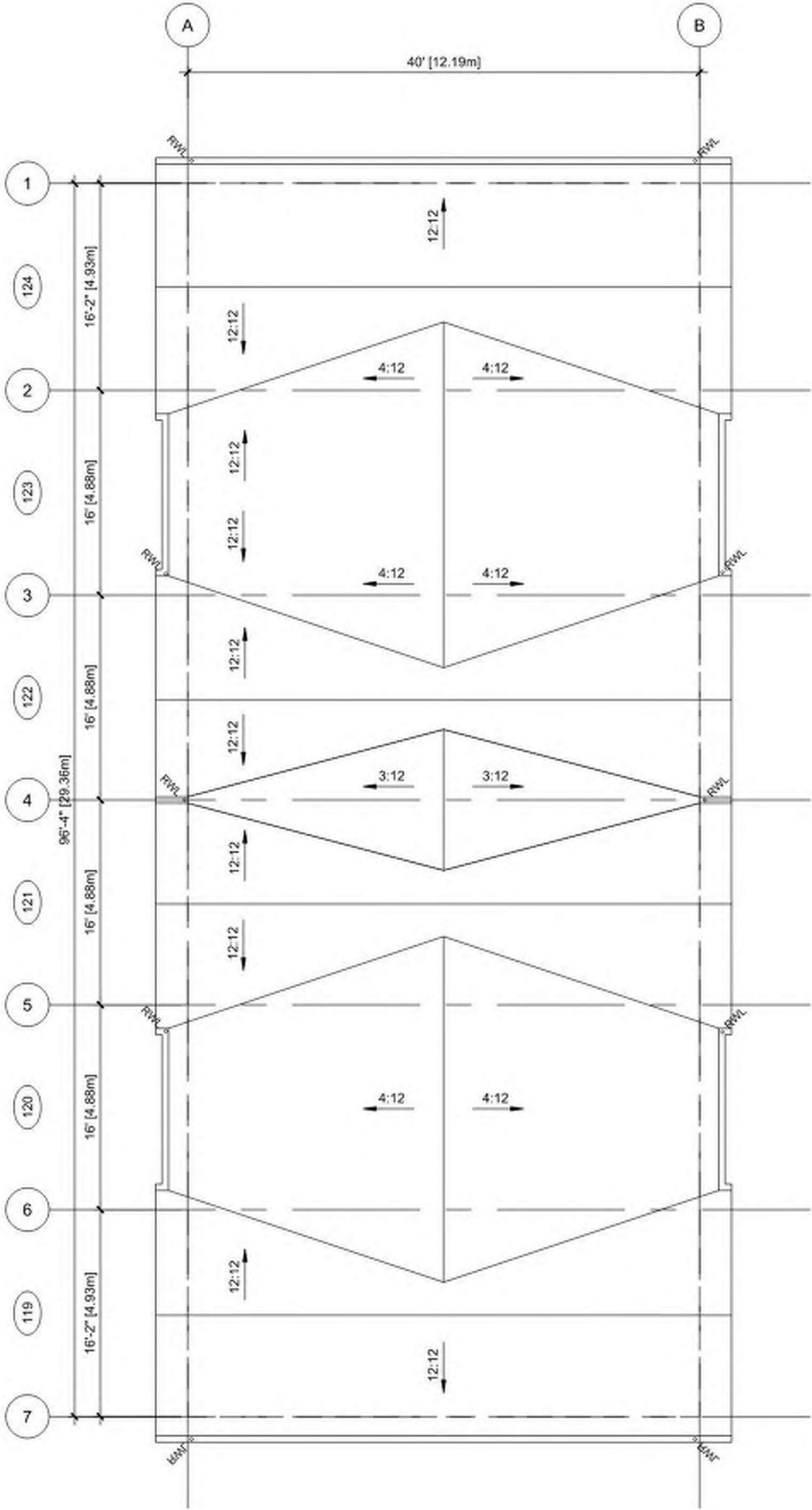
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

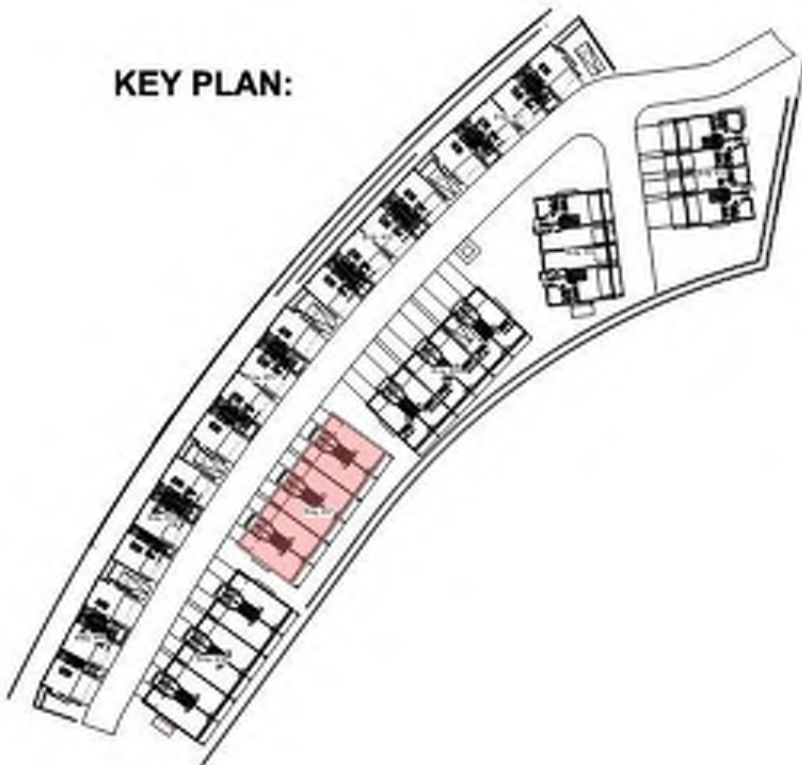
2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
- WALL ASSEMBLY MARK
- FLOOR & ROOF
ASSEMBLY MARK
- DOOR MARK
- WINDOW MARK
- DETAIL NUMBER
REFERENCE DRAWING
- BUILDING SECTION
MARK
- DW DISH WASHER
- F. REFRIGERATOR
- F.G. FINISHED GRADE
- P. PANTRY
- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



1 ROOF PLAN
A2.07b
Scale: 1/8" = 1'-0"



REVISIONS	
1	

ISSUES	DATE
8	
7	
6	
5	
4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DO-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT
ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC

DRAWING TITLE
BUILDING #7 ROOF PLANS

DRAWING No.
A2.07b

**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

TYPICAL BULKHEAD /
DROPPED CEILING

FIRE RATED
DROPPED CEILING

RWL
(RAIN WATER LEADER)

RWL TO BELOW

BRICK CLADDING
/ BRICK LEDGE

WALL ASSEMBLY MARK

FLOOR & ROOF
ASSEMBLY MARK

DOOR MARK

WINDOW MARK

DETAIL NUMBER
REFERENCE DRAWING

BUILDING SECTION
MARK

DW DISH WASHER

F. REFRIGERATOR

F.G. FINISHED GRADE

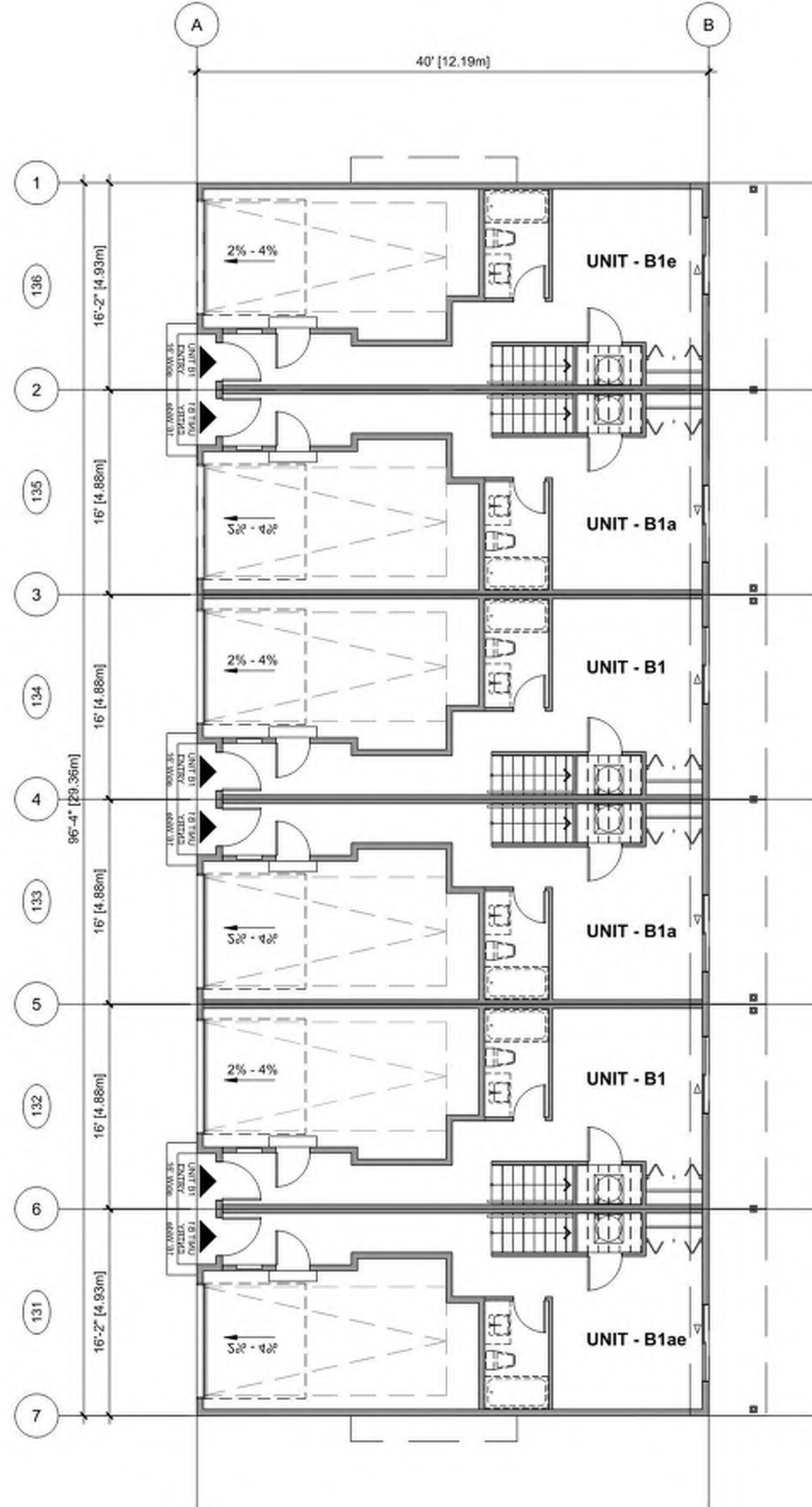
P. PANTRY

T.O.S. TOP OF SLAB

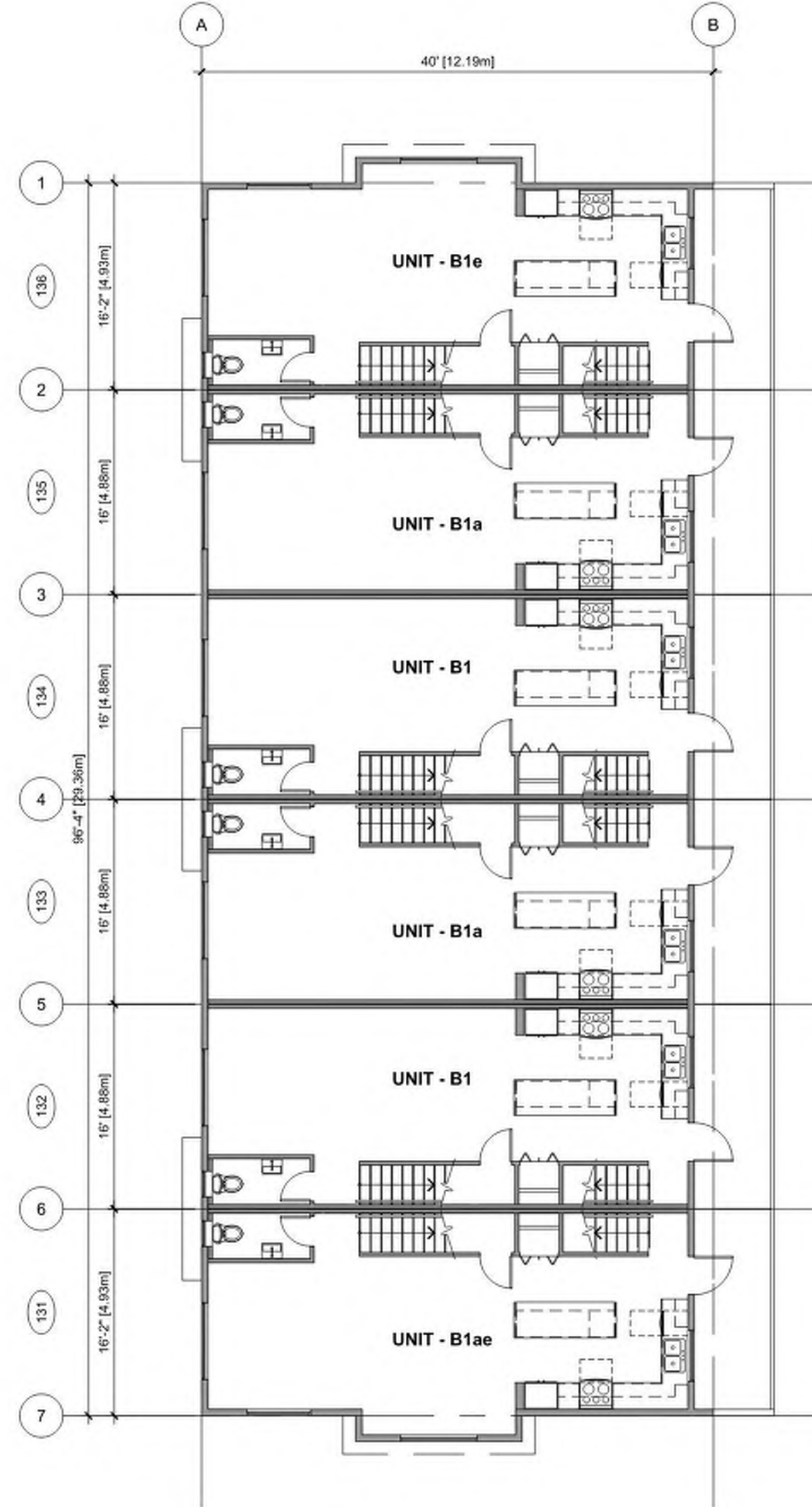
W/D WASHER / DRYER

6" THICK FOUNDATION
WALL

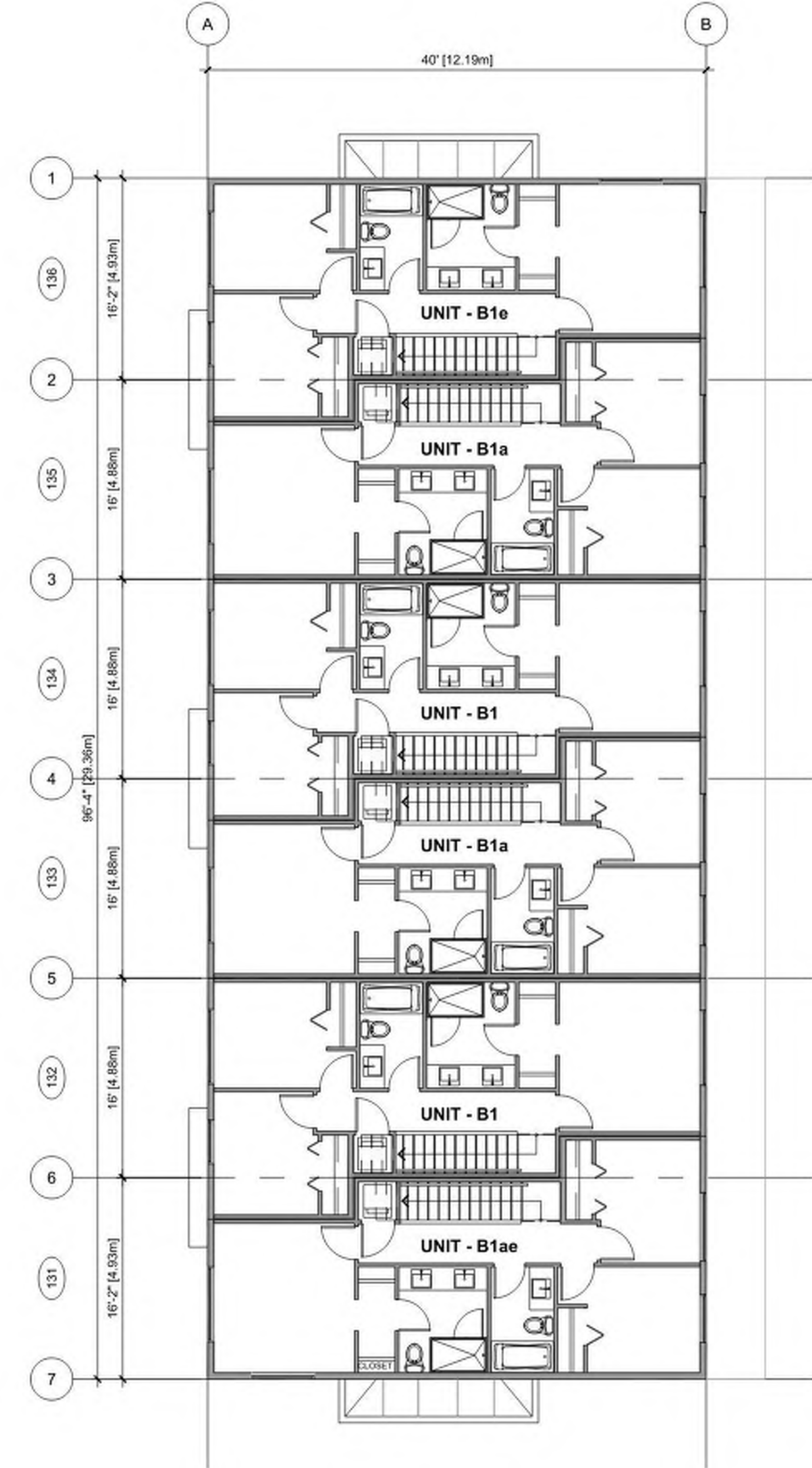
SMOKE/CO DETECTOR
REFER TO ELECTRICAL



1
A2.08a
GROUND FLOOR PLAN
Scale: 1/8" = 1'-0"

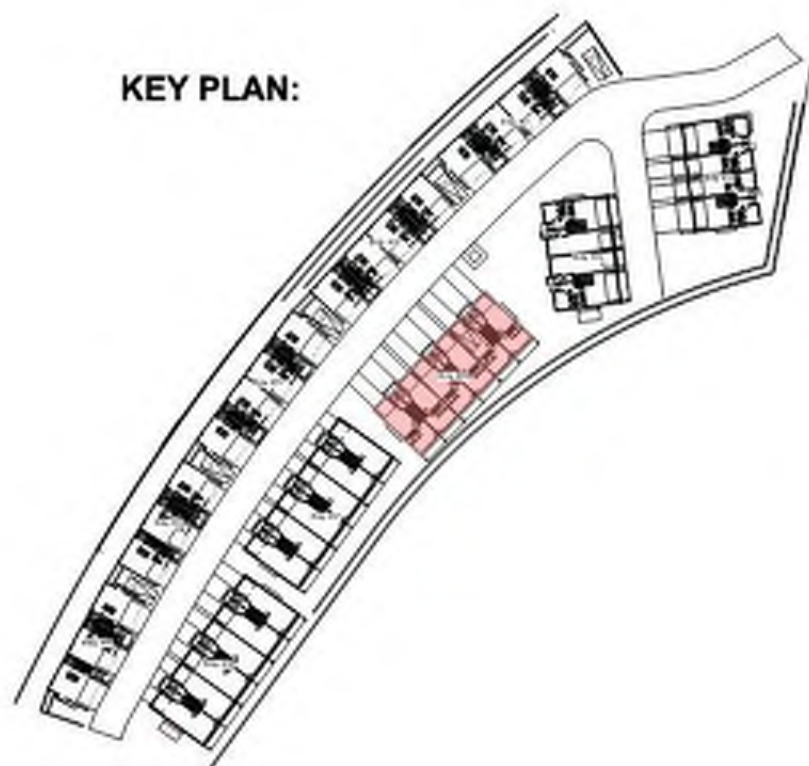


2
A2.08a
MAIN FLOOR PLAN
Scale: 1/8" = 1'-0"



3
A2.08a
UPPER FLOOR PLAN
Scale: 1/8" = 1'-0"

KEY PLAN:



REVISIONS	
1	
ISSUES	DATE
8	
7	
6	
5	
4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION
PROJECT NUMBER DO-92	
DRAWN BY HA / PM / BL	
CHECKED BY RR	
DATE CHECKED	
CONSULTANT	

PROJECT	
ABSTRACT DEVELOPMENTS	
TRUMPETER LOT 82 - ROYAL BAY	
COLWOOD, BC	
DRAWING TITLE	
BUILDING #8 FLOOR PLANS	
DRAWING No.	

BUILDING #8 AREAS	S.F.	S.M.
- GROUND FLOOR	2,323.81	215.89
- MAIN FLOOR	3,760.80	349.39
- UPPER FLOOR	3,853.33	357.99
- TOTAL FLOOR AREA	9,937.94	923.27

A2.08a

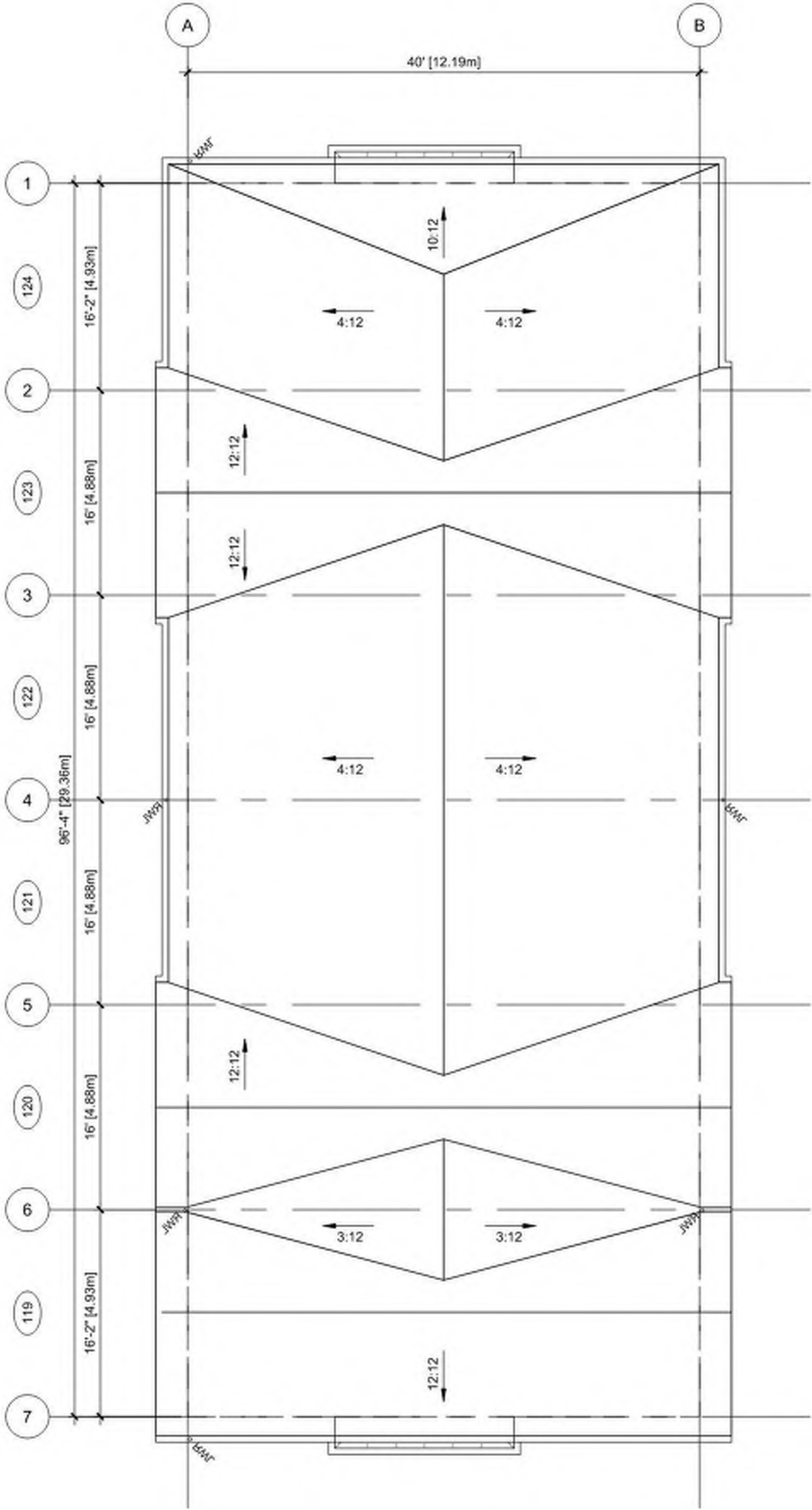
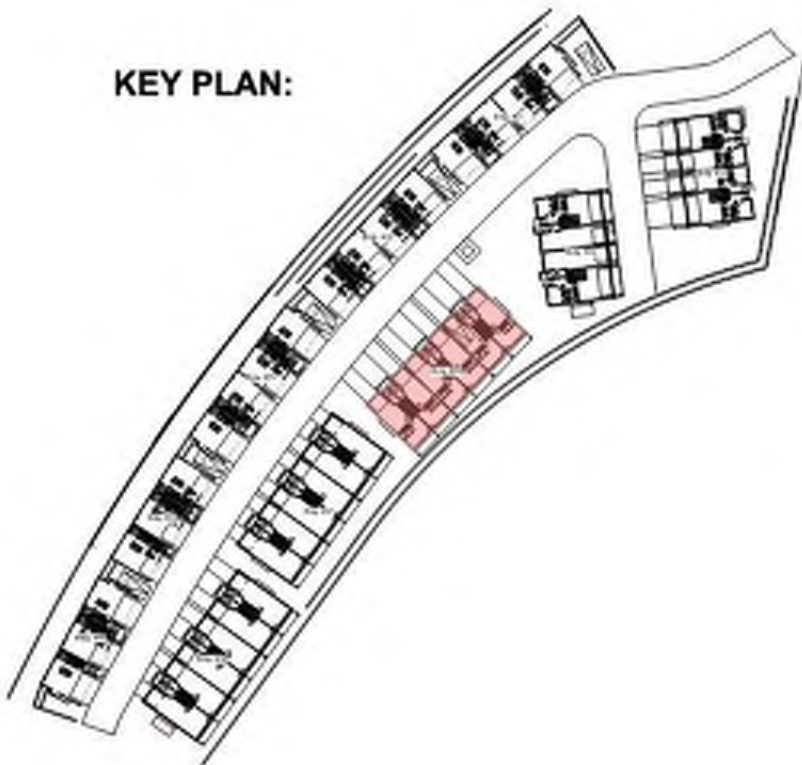
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
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- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



1 ROOF PLAN
A2.08b
Scale: 1/8" = 1'-0"

REVISIONS	
1	

ISSUES	DATE
8	
7	
6	
5	
4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DO-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC

DRAWING TITLE
BUILDING #8 ROOF PLANS

DRAWING No.

A2.08b

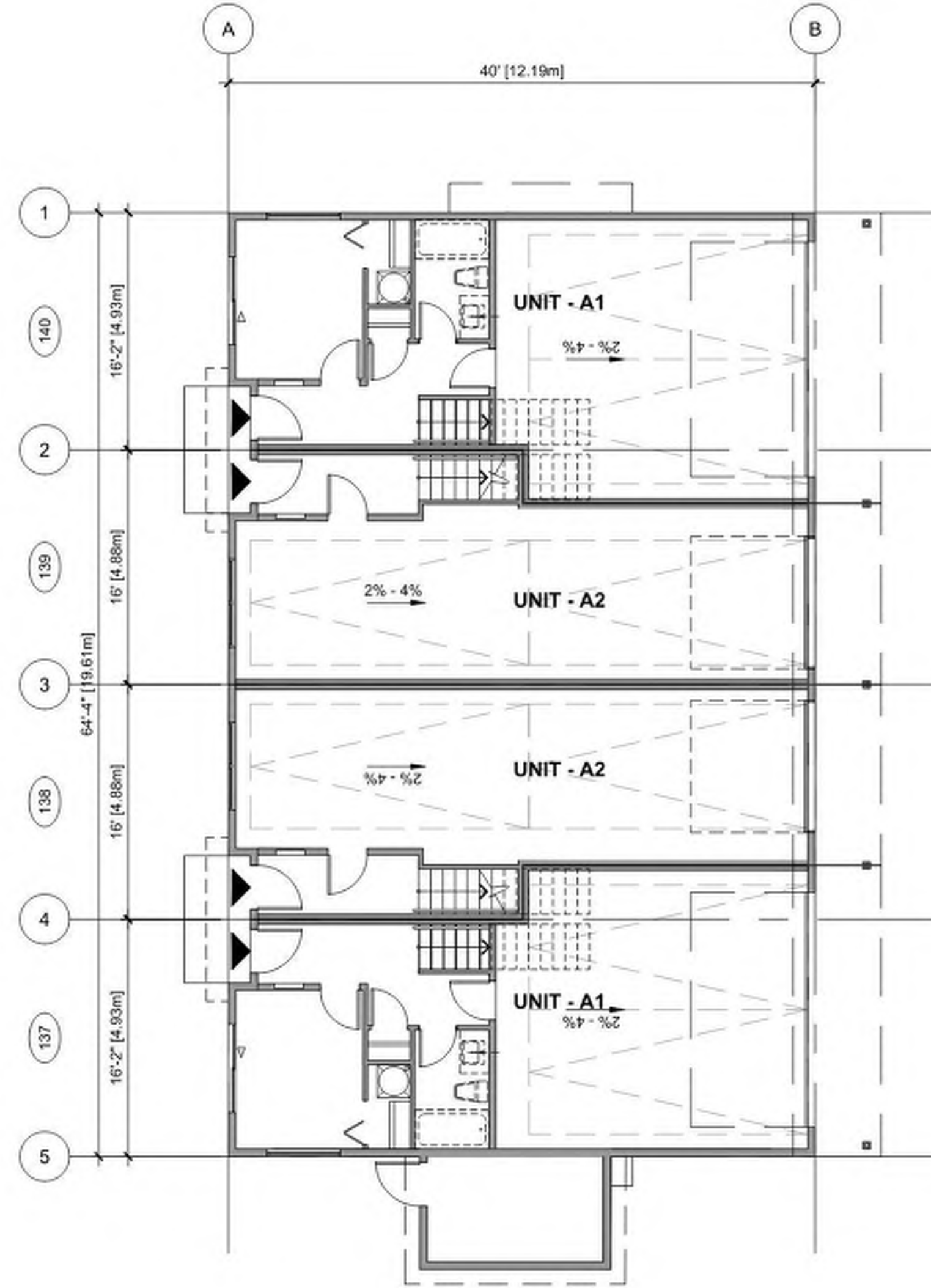
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

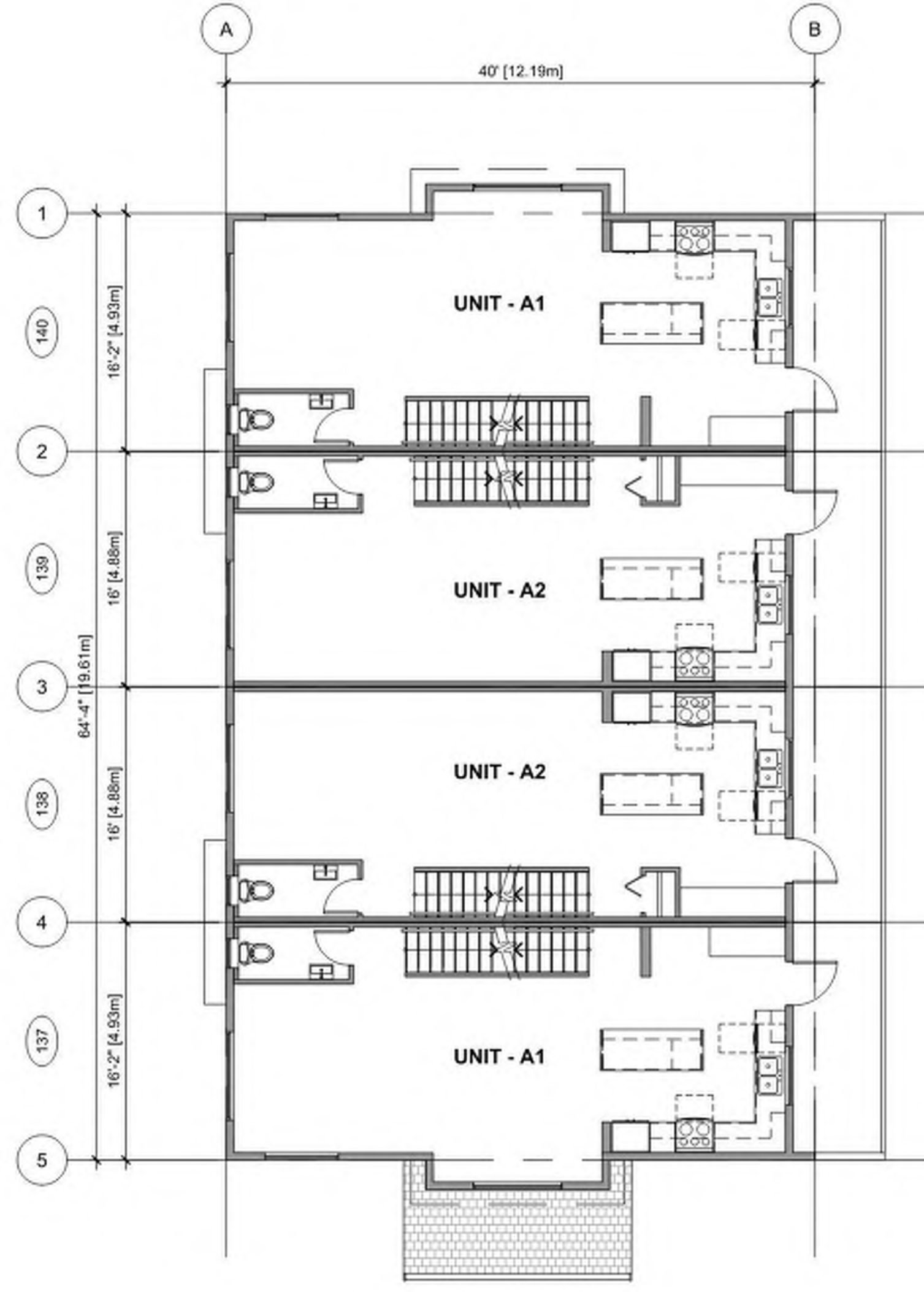
2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

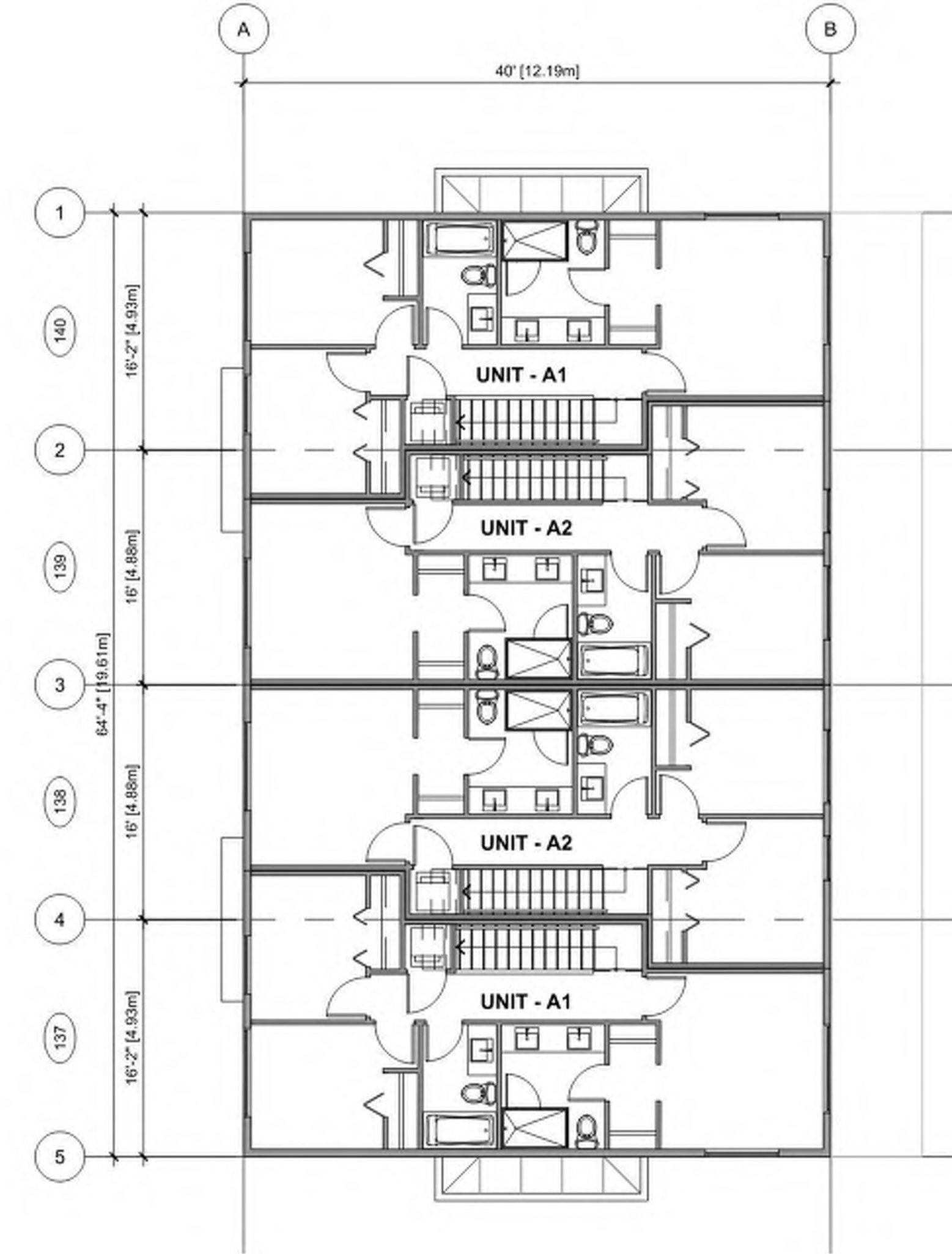
- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
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ASSEMBLY MARK
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- W/D WASHER / DRYER
- 6" THICK FOUNDATION
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REFER TO ELECTRICAL



1
GROUND FLOOR PLAN
A2.09a
Scale: 1/8" = 1'-0"

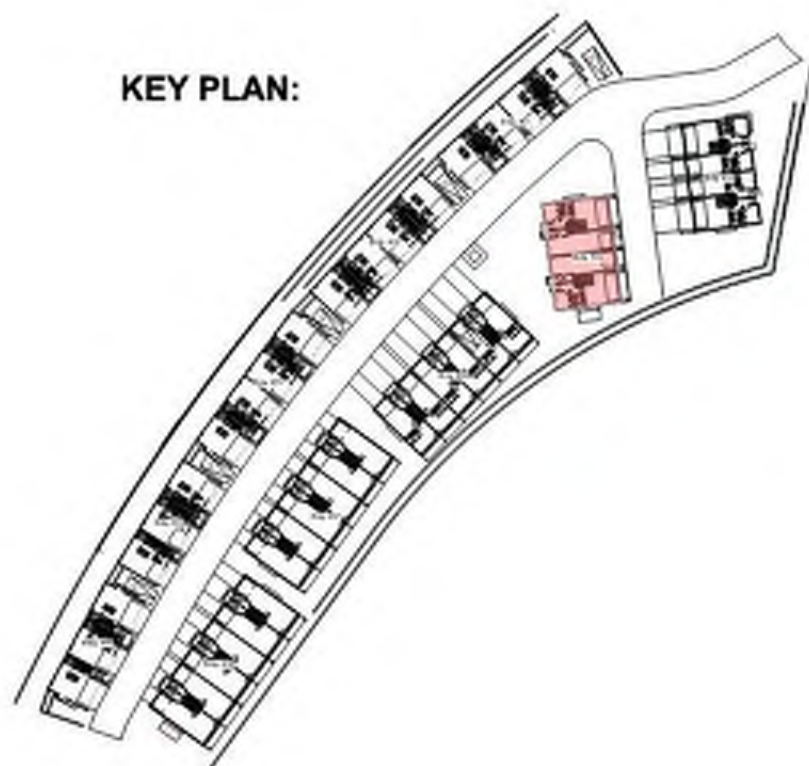


2
MAIN FLOOR PLAN
A2.09a
Scale: 1/8" = 1'-0"



3
UPPER FLOOR PLAN
A2.09a
Scale: 1/8" = 1'-0"

KEY PLAN:



REVISIONS	
1	
ISSUES	
8	
7	
6	
5	
4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION
PROJECT NUMBER	
DD-92	
DRAWN BY	
HA / PM / BL	
CHECKED BY	
RR	
DATE CHECKED	
CONSULTANT	



PROJECT	
ABSTRACT DEVELOPMENTS	
TRUMPETER LOT 82 - ROYAL BAY	
COLWOOD, BC	
DRAWING TITLE	
BUILDING #9 FLOOR PLANS	
DRAWING No.	

BUILDING #9 AREAS	S.F.	S.M.
- GROUND FLOOR	725.65	67.42
- MAIN FLOOR	2,526.81	234.75
- UPPER FLOOR	2,573.38	239.07
- TOTAL FLOOR AREA	5,825.85	541.24

A2.09a

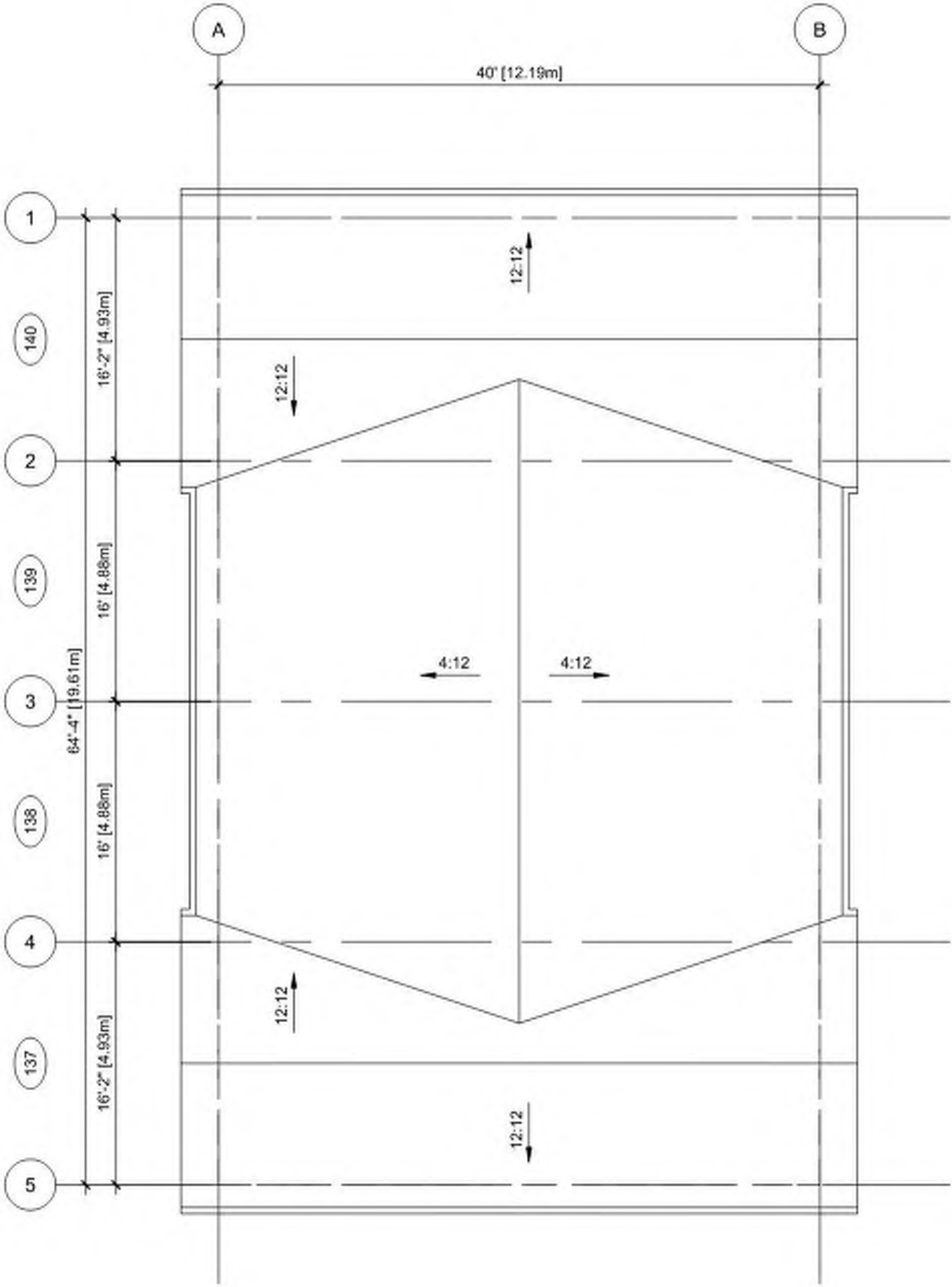
PARTY WALL & ATTIC FIRE RATINGS
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE RESISTANCE RATING

2hr
DENOTES 2 HR. FIRE RESISTANCE RATING

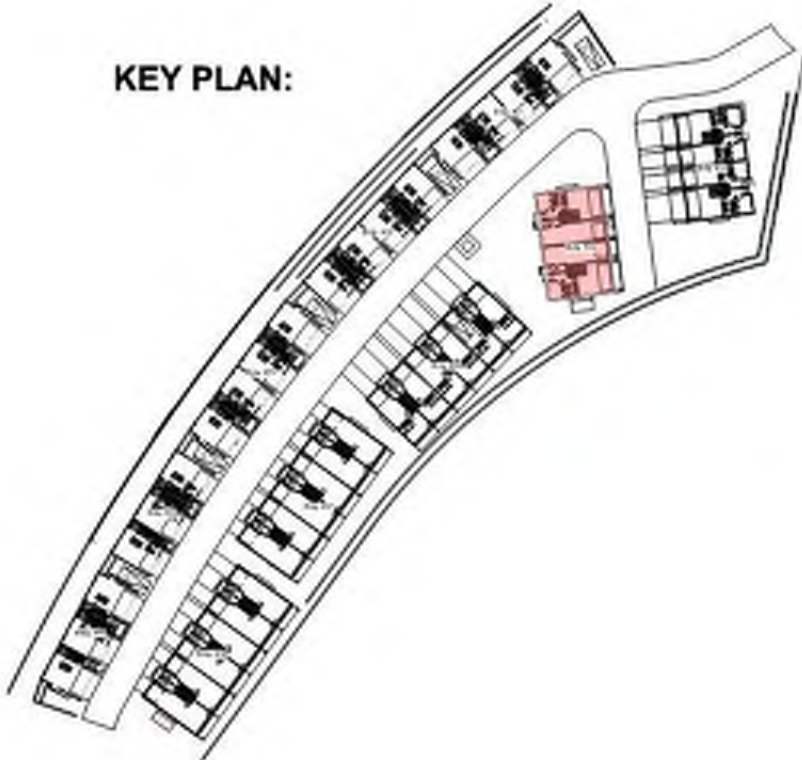
LEGEND:

- TYPICAL BULKHEAD / DROPPED CEILING
- FIRE RATED DROPPED CEILING
- RWL (RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING / BRICK LEDGE
- WALL ASSEMBLY MARK
- FLOOR & ROOF ASSEMBLY MARK
- DOOR MARK
- WINDOW MARK
- DETAIL NUMBER REFERENCE DRAWING
- BUILDING SECTION MARK
- DW DISH WASHER
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- P. PANTRY
- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION WALL
- SMOKE/CO DETECTOR REFER TO ELECTRICAL



1 ROOF PLAN
A2.09b Scale: 1/8" = 1'-0"

KEY PLAN:



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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
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PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC

DRAWING TITLE
BUILDING #9 ROOF PLANS

DRAWING No.
A2.09b

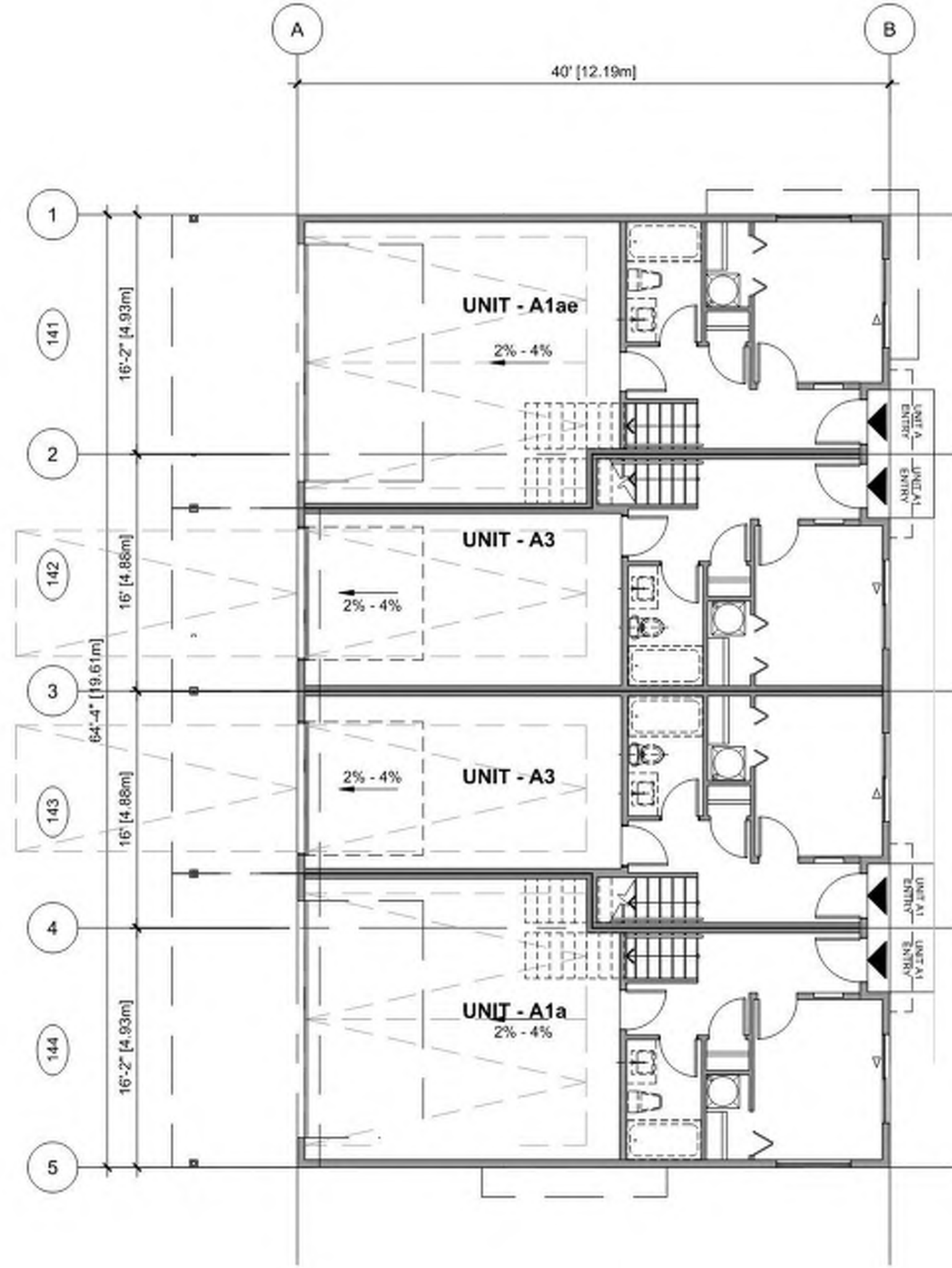
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

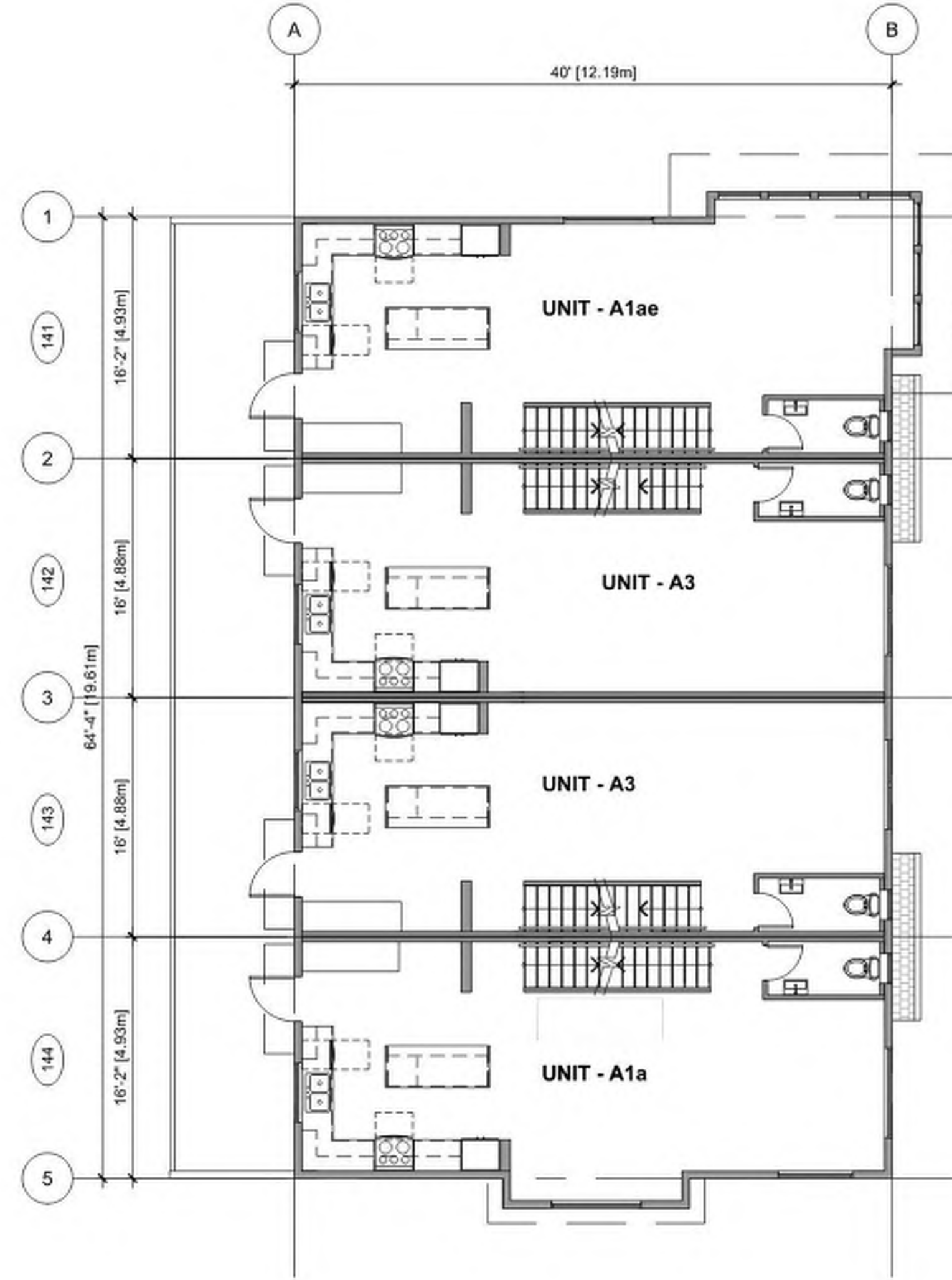
2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

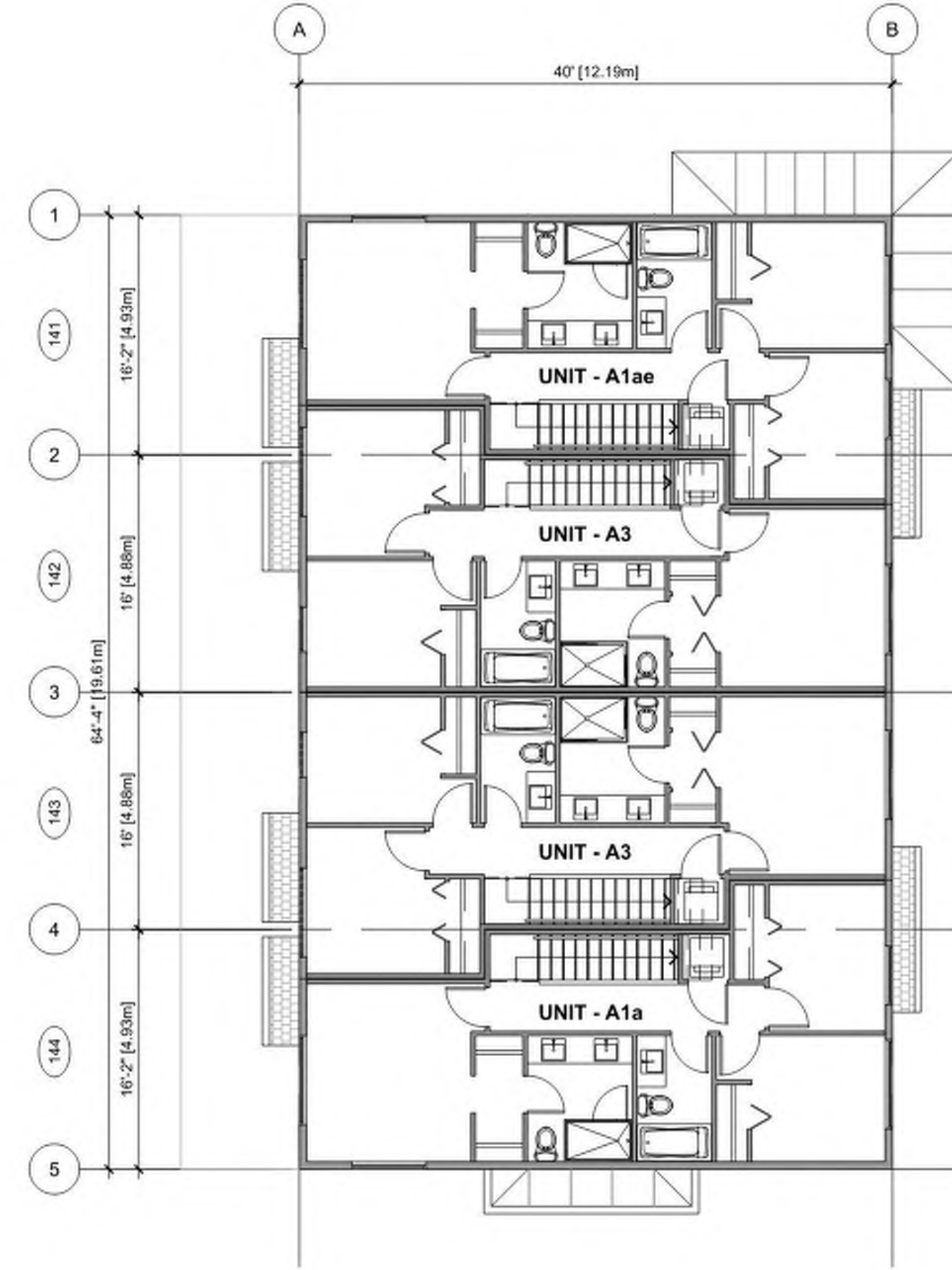
- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
- WALL ASSEMBLY MARK
- FLOOR & ROOF
ASSEMBLY MARK
- DOOR MARK
- WINDOW MARK
- DETAIL NUMBER
REFERENCE DRAWING
- BUILDING SECTION
MARK
- DW DISH WASHER
- F. REFRIGERATOR
- F.G. FINISHED GRADE
- P. PANTRY
- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



1
A2.10a **GROUND FLOOR PLAN**
Scale: 1/8" = 1'-0"

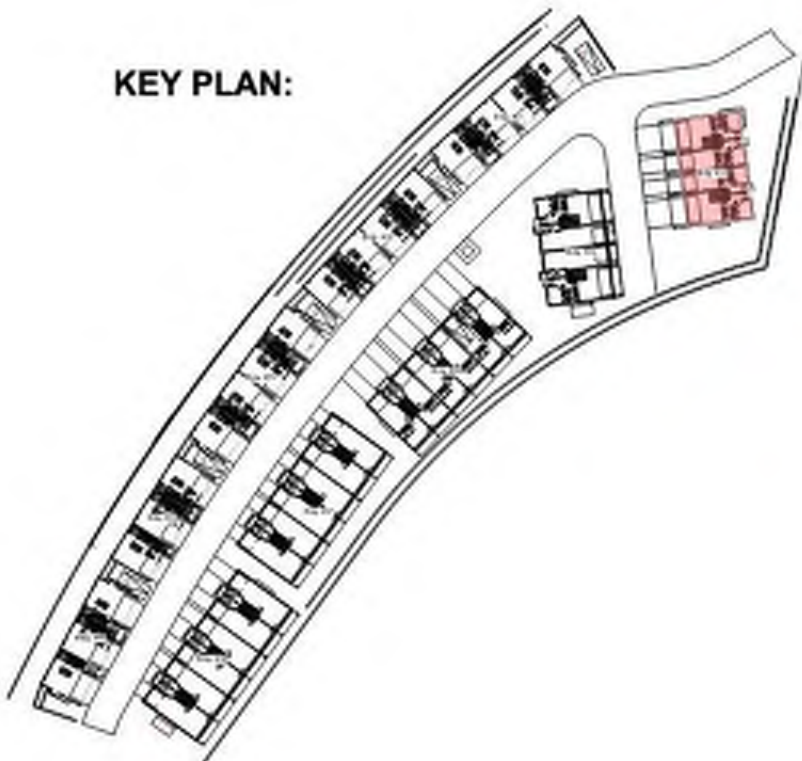


2
A2.10a **MAIN FLOOR PLAN**
Scale: 1/8" = 1'-0"



3
A2.10a **UPPER FLOOR PLAN**
Scale: 1/8" = 1'-0"

KEY PLAN:



REVISIONS	
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1	ISSUED FOR DP APPLICATION 2022-10-17
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PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

**BUILDING #10
FLOOR PLANS**

DRAWING No.

BUILDING #10 AREAS	S.F.	S.M.
- GROUND FLOOR	1,145.63	106.43
- MAIN FLOOR	2,640.49	245.31
- UPPER FLOOR	2,573.33	239.07
- TOTAL FLOOR AREA	6,359.45	590.81

A2.10a

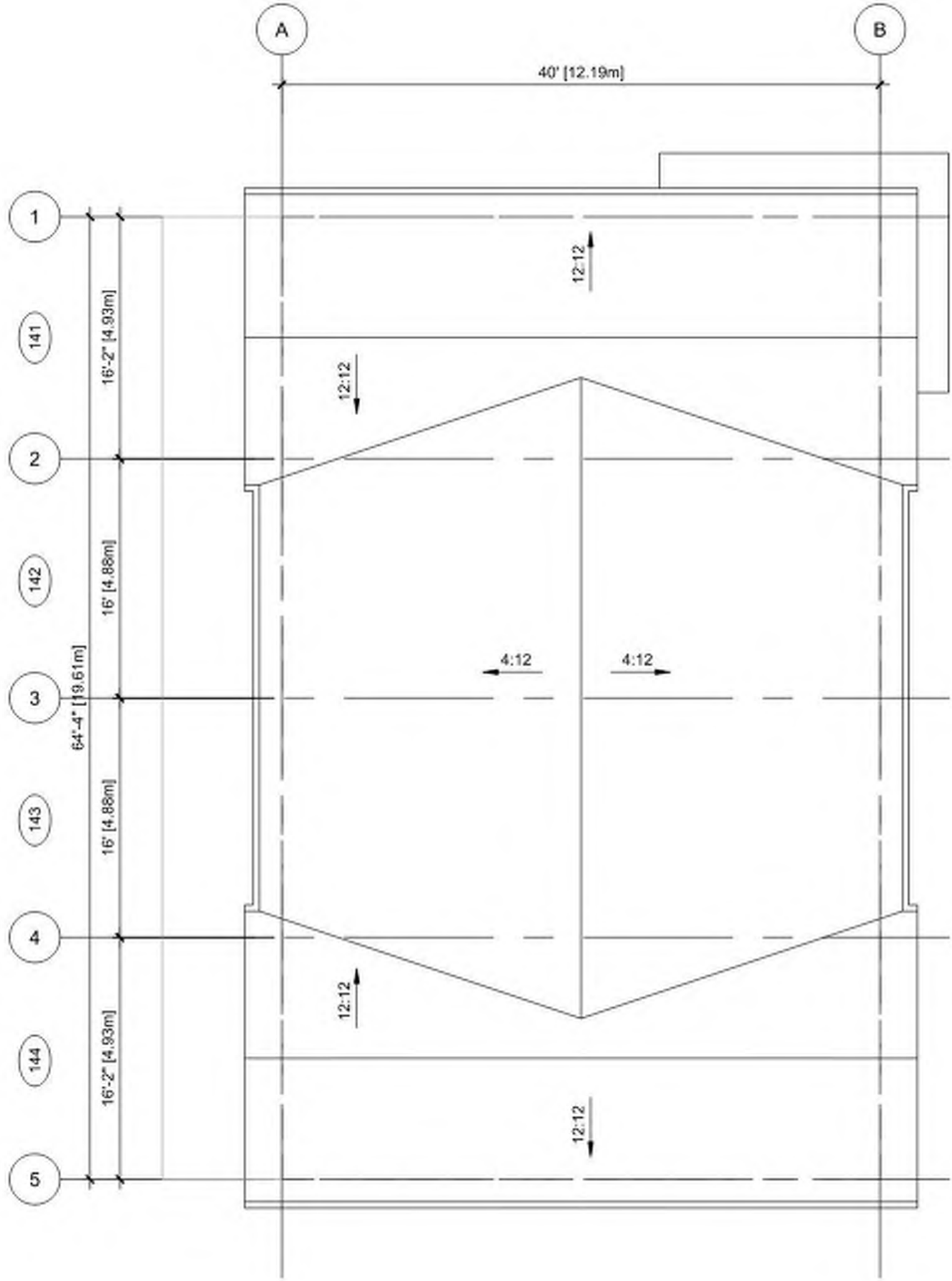
**PARTY WALL & ATTIC
FIRE RATINGS**
(SEE ALSO CODE REPORT FROM LMDG)

1hr
DENOTES 1 HR. FIRE
RESISTANCE RATING

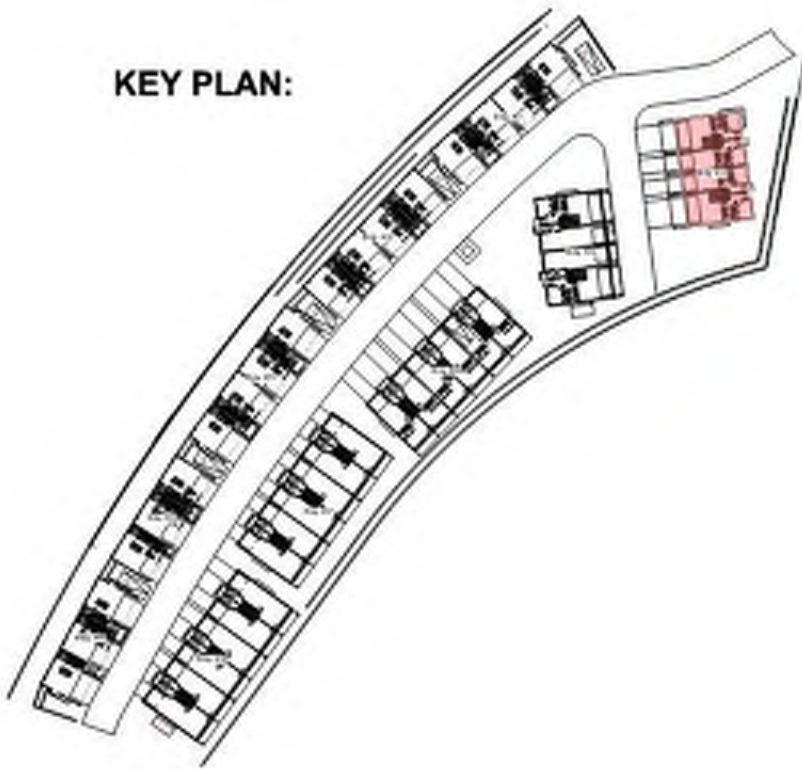
2hr
DENOTES 2 HR. FIRE
RESISTANCE RATING

LEGEND:

- TYPICAL BULKHEAD /
DROPPED CEILING
- FIRE RATED
DROPPED CEILING
- RWL
(RAIN WATER LEADER)
- RWL TO BELOW
- BRICK CLADDING
/ BRICK LEDGE
- WALL ASSEMBLY MARK
- FLOOR & ROOF
ASSEMBLY MARK
- DOOR MARK
- WINDOW MARK
- DETAIL NUMBER
REFERENCE DRAWING
- BUILDING SECTION
MARK
- DW DISH WASHER
- F. REFRIGERATOR
- F.G. FINISHED GRADE
- P. PANTRY
- T.O.S. TOP OF SLAB
- W/D WASHER / DRYER
- 6" THICK FOUNDATION
WALL
- SMOKE/CO DETECTOR
REFER TO ELECTRICAL



1 ROOF PLAN
A2.10b Scale: 1/8" = 1'-0"



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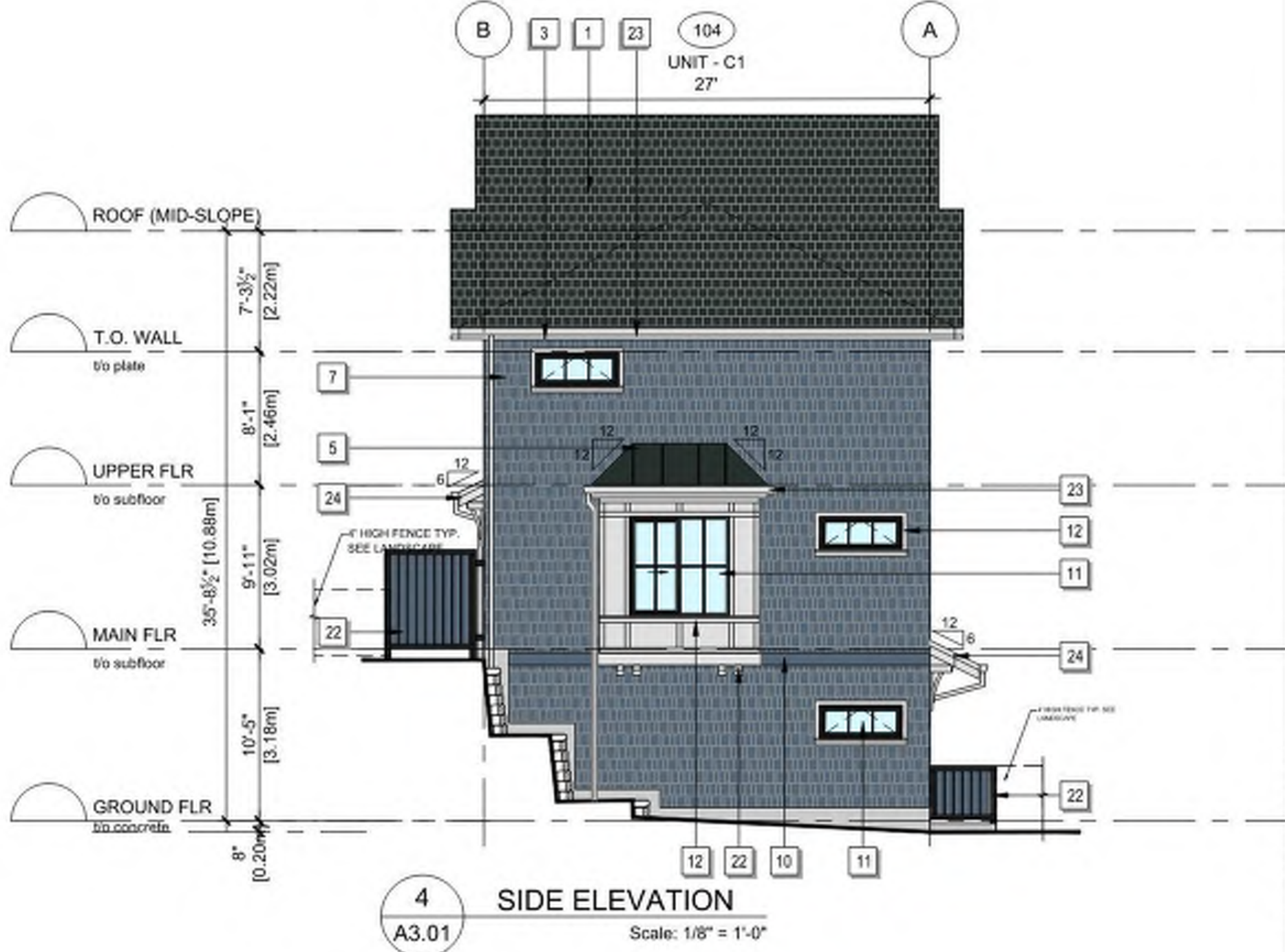
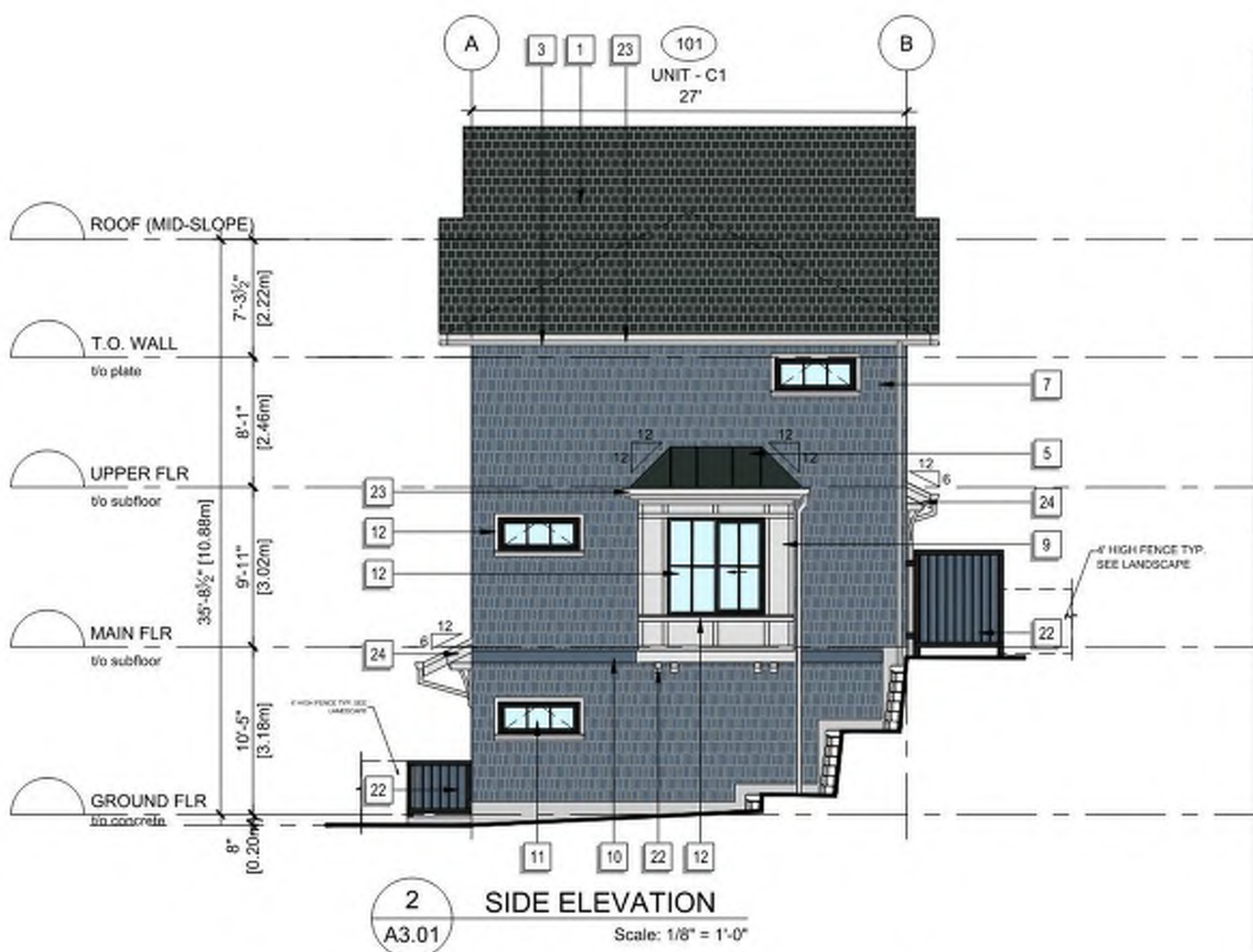


PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC

DRAWING TITLE
BUILDING #10 ROOF PLANS

DRAWING No.

A2.10b



MATERIAL LEGEND		
MATERIALS	SCHEME 1	SCHEME 2
1 ASPHALT / SHINGLE PITCHED ROOF	PANOS ANTIQUE BLACK (BM/BLACK)	PANOS ANTIQUE BLACK (BM/BLACK)
2 WOOD FASCIA, PAINTED	LIGHT GREY (BM LIGHT GREY)	CREAM (BM LIGHT GREY)
3 PERFORATED VINYL SOFFIT	CENTRAL LARK (R13)	CENTRAL LARK (R13)
4 STAINED CEDAR SOFFIT	OLYMPIC BURN TRANSPARENT CEDAR NATURAL TONE	OLYMPIC BURN TRANSPARENT CEDAR NATURAL TONE
5 METAL ROOF	CHARCOAL	CHARCOAL
6 FIBRE CEMENT LAP SIDING SMOOTH, 6" EXPOSURE, PAINTED	CHARCOAL GREY (BM CHARCOAL GREY)	DARK BLUE (BM DARK BLUE)
7 FIBRE CEMENT LAP SIDING SMOOTH, 6" EXPOSURE, PAINTED	LIGHT GREY (BM LIGHT GREY)	CREAM (BM CREAM)
8 FIBRE CEMENT SHINGLE SIDING, PAINTED	CHARCOAL GREY (BM CHARCOAL GREY)	DARK BLUE (BM DARK BLUE)
9 FIBRE CEMENT SHINGLE SIDING, PAINTED	LIGHT GREY (BM LIGHT GREY)	CREAM (BM CREAM)
10 FIBRE CEMENT PANEL, SMOOTH W/ BATTENS, PAINTED	CHARCOAL GREY (BM CHARCOAL GREY)	LIGHT GREY (BM LIGHT GREY)
11 FIBRE CEMENT PANEL, SMOOTH W/ BATTENS, PAINTED	LIGHT GREY (BM LIGHT GREY)	CREAM (BM CREAM)
12 VINYL FRAME WINDOWS	BLACK (BM BLACK)	BLACK (BM BLACK)
13 2x4 WOOD TRIM, PAINTED	LIGHT GREY (BM LIGHT GREY)	CREAM (BM LIGHT GREY)
14 2x4 WOOD TRIM, PAINTED	LIGHT GREY (BM LIGHT GREY)	CREAM (BM LIGHT GREY)
15 2x10 WOOD BALCONY FASCIA, PAINTED	LIGHT GREY (BM LIGHT GREY)	CREAM (BM LIGHT GREY)
16 ENTRY DOOR, METAL, COAT-OF-ARMS, PAINTED	CHARCOAL GREY (BM CHARCOAL GREY)	CHARCOAL GREY (BM CHARCOAL GREY)
17 ALUMINUM GARAGE DOOR, PAINTED	CHARCOAL GREY (BM CHARCOAL GREY)	CHARCOAL GREY (BM CHARCOAL GREY)
18 WOOD CLADDING ENTRY POSTS, BEAMS & BATTENS, PAINTED	BM LIGHT GREY (BM LIGHT GREY)	BM CREAM (BM LIGHT GREY)
19 BALCONY DOOR	CHARCOAL GREY (BM CHARCOAL GREY)	CHARCOAL GREY (BM CHARCOAL GREY)
20 PRIVACY SCREEN, WOOD FENCING & GATES	BLACK FRAME W/ SLATE COLOR TO MATCH SHINGLE SIDING	TO MATCH FASCIA COLOR
21 PRE-FINISHED ALUMINUM GUTTER & RAIL	TO MATCH FASCIA COLOR	TO MATCH FASCIA COLOR
22 WOOD DETAILS BRACKETS, DENTILS, PAINTED	BM LIGHT GREY (BM LIGHT GREY)	BM CREAM (BM LIGHT GREY)
23 WOOD PLASTER BOSS, PAINTED	TO MATCH TRIM COLOR	TO MATCH TRIM COLOR
24 PRE-FINISHED ALUMINUM DOWNSPOUTS, CRIPPLES	BLACK	BLACK

COLOR SCHEME 2

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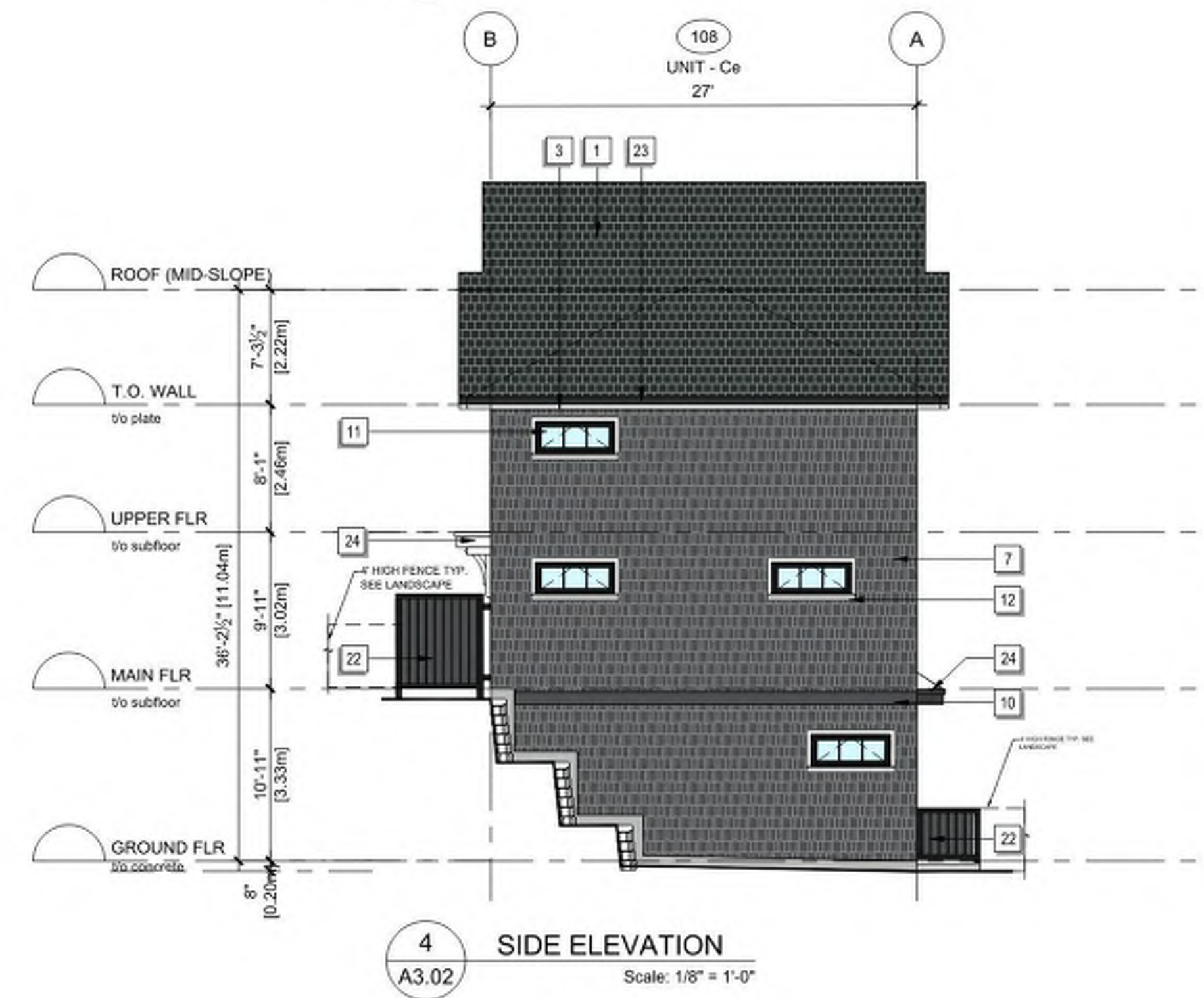
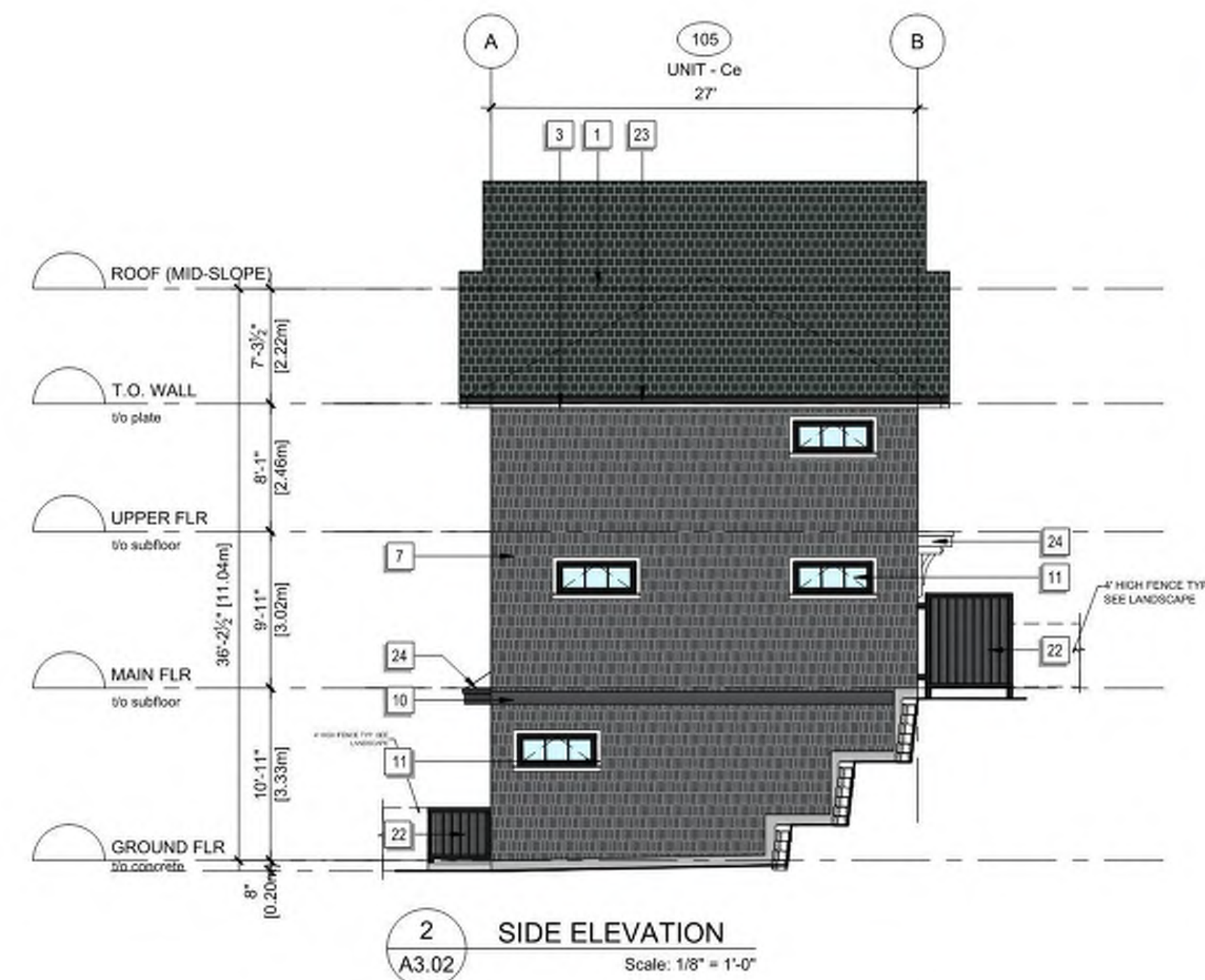
PROJECT
ABSTRACT DEVELOPMENTS
TRUMPET LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE
BUILDING #1 ELEVATIONS

DRAWING No.

A3.01



MATERIAL LEGEND			
ROOF	MATERIALS	SCHEME 1	SCHEME 2
	1 ASPHALT / SHINGLE PITCHED ROOF	PANOS ANTOUR BLACK (MM/BLACK)	PANOS ANTOUR BLACK (MM/BLACK)
	2 WOOD FASCIA, PAINTED	LIGHT GREY (MM/LIGHT GREY)	CREAM (MM/CREAM)
	3 POLYURETHANE VINYL SOFFIT	(SEE LANDSCAPE)	(SEE LANDSCAPE)
	4 STAINED CEDAR SOFFIT	OLYMPIC SEMI-TRANSPARENT CEDAR NATURAL TONE	OLYMPIC SEMI-TRANSPARENT CEDAR NATURAL TONE
WALL	5 METAL ROOF	CHARCOAL	CHARCOAL
	6 FIBRE CEMENT LAP SIDING SMOOTH, 6" EXPOSURE, PAINTED	CHARCOAL GREY (MM/CHARCOAL GREY)	DARK BLUE (MM/DARK BLUE)
	7 FIBRE CEMENT LAP SIDING SMOOTH, 6" EXPOSURE, PAINTED	LIGHT GREY (MM/LIGHT GREY)	CREAM (MM/CREAM)
	8 FIBRE CEMENT SHINGLE SIDING, PAINTED	CHARCOAL GREY (MM/CHARCOAL GREY)	DARK BLUE (MM/DARK BLUE)
	9 FIBRE CEMENT SHINGLE SIDING, PAINTED	LIGHT GREY (MM/LIGHT GREY)	CREAM (MM/CREAM)
	10 FIBRE CEMENT PANEL SMOOTH W/ BATTERS, PAINTED	CHARCOAL GREY (MM/CHARCOAL GREY)	DARK BLUE (MM/DARK BLUE)
	11 FIBRE CEMENT PANEL SMOOTH W/ BATTERS, PAINTED	LIGHT GREY (MM/LIGHT GREY)	CREAM (MM/CREAM)
	12 FIBRE CEMENT PANEL SMOOTH W/ BATTERS, PAINTED	CHARCOAL GREY (MM/CHARCOAL GREY)	DARK BLUE (MM/DARK BLUE)
	13 FIBRE CEMENT PANEL SMOOTH W/ BATTERS, PAINTED	LIGHT GREY (MM/LIGHT GREY)	CREAM (MM/CREAM)
	14 FIBRE CEMENT PANEL SMOOTH W/ BATTERS, PAINTED	CHARCOAL GREY (MM/CHARCOAL GREY)	DARK BLUE (MM/DARK BLUE)
DOOR	15 ENTRY DOOR, METAL CLAD W/ GLASS, PAINTED	CHARCOAL GREY (MM/CHARCOAL GREY)	CHARCOAL GREY (MM/CHARCOAL GREY)
	16 ALUMINUM GARAGE DOOR, PAINTED	CHARCOAL GREY (MM/CHARCOAL GREY)	CHARCOAL GREY (MM/CHARCOAL GREY)
	17 WOOD CLADDING ENTRY POSTS, BEAMS & BATTERS, PAINTED	BLACK LIGHT GREY (MM/LIGHT GREY)	BLACK LIGHT GREY (MM/LIGHT GREY)
	18 BALCONY DOOR	CHARCOAL GREY (MM/CHARCOAL GREY)	CHARCOAL GREY (MM/CHARCOAL GREY)
	19 BALCONY DOOR	CHARCOAL GREY (MM/CHARCOAL GREY)	CHARCOAL GREY (MM/CHARCOAL GREY)
DETAILS	20 PRIVACY SCREEN, WOOD FENCING & GATES	BLACK FRAME W/ SLATE COLOR TO MATCH SHINGLE SIDING	BLACK FRAME W/ SLATE COLOR TO MATCH SHINGLE SIDING
	21 PRE-FINISHED ALUMINUM BUTTER & RAIL	TO MATCH FASCIA COLOR	TO MATCH FASCIA COLOR
	22 WOOD DETAILS, BRACKETS, DENTILS, PAINTED	BLACK LIGHT GREY (MM/LIGHT GREY)	BLACK LIGHT GREY (MM/LIGHT GREY)
	23 WOOD PLASTER, BOSS, PAINTED	BLACK LIGHT GREY (MM/LIGHT GREY)	BLACK LIGHT GREY (MM/LIGHT GREY)
	24 PRE-FINISHED ALUMINUM CORNICES, CRIPPLES	TO MATCH TRIM COLOR	TO MATCH TRIM COLOR

COLOR SCHEME 1

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2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
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CONSULTANT	



PROJECT

ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY

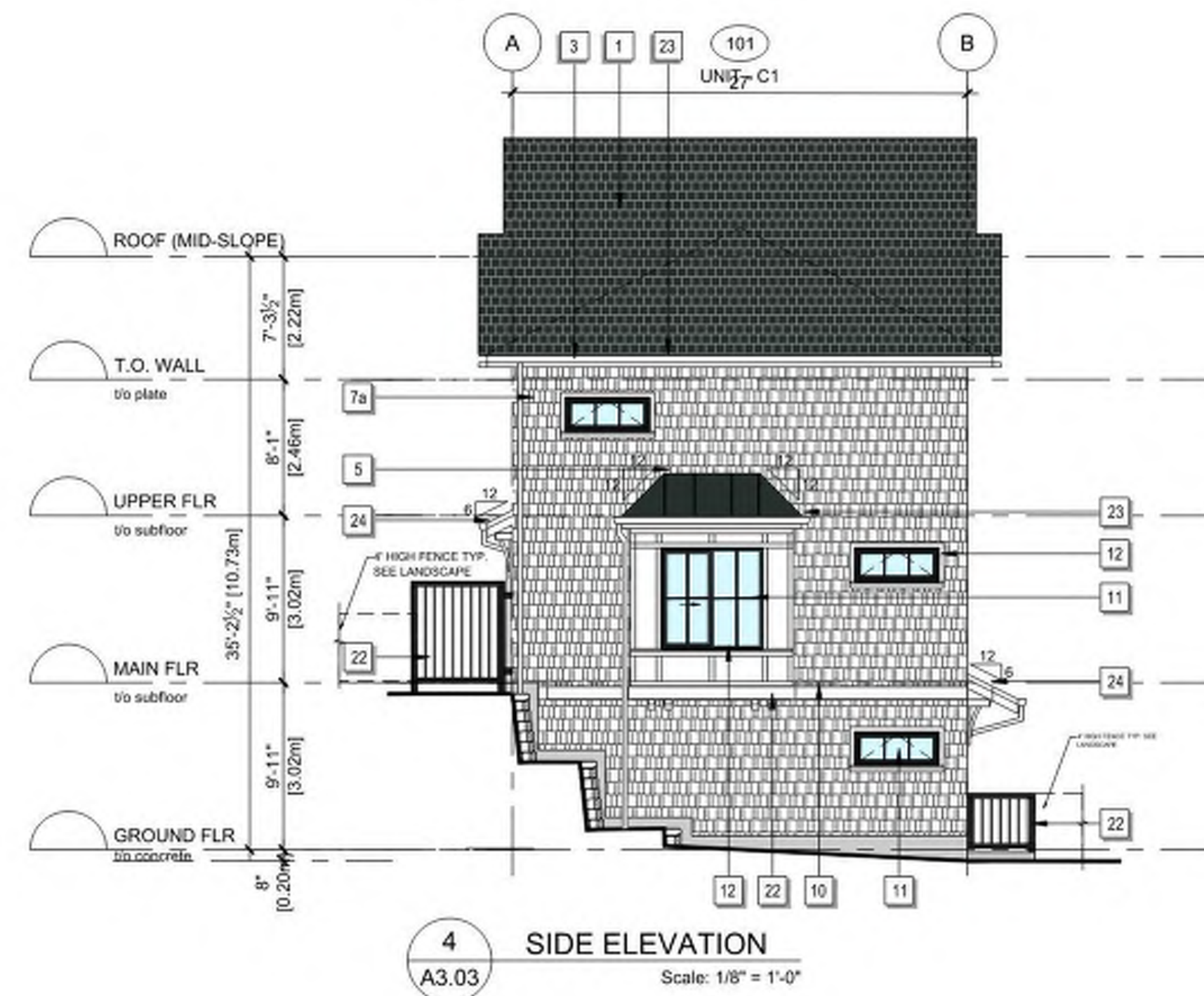
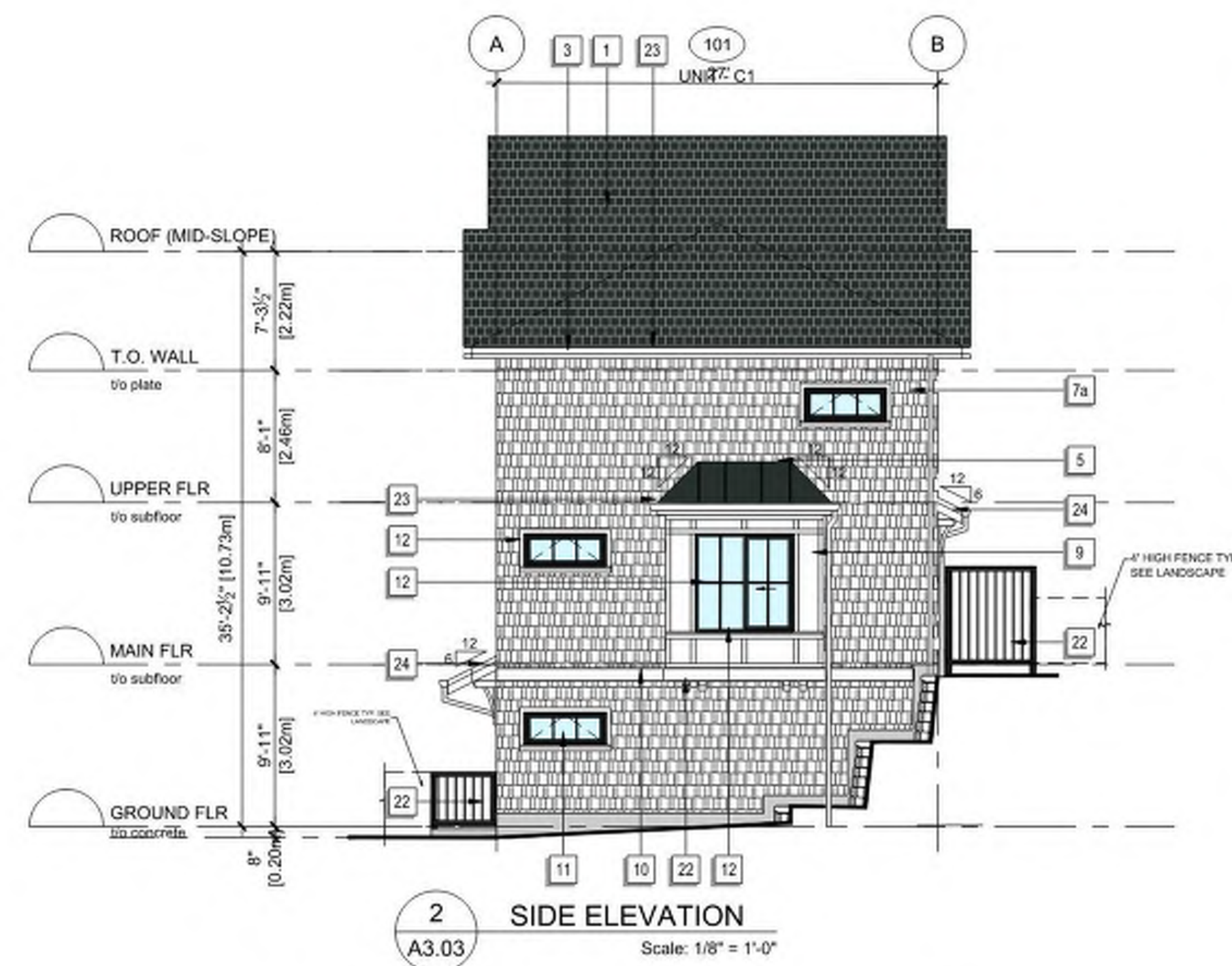
COLWOOD, BC

DRAWING TITLE

BUILDING #2 ELEVATIONS

DRAWING No.

A3.02



MATERIAL LEGEND		
ROOF	MATERIALS	
	1	2
	ASPHALT / SHINGLE PITCHED ROOF	PANOS ANTICOR BLACK (MM BLACK)
	WOOD FASCIA, PAINTED	LIGHT GREY (MM LIGHT GREY)
	PERFORATED VINYL SOFFIT	CENTRAL LAMIN (S)
WALL	ETWING CEMENT SIDING	
	METAL ROOF	
	6	FIBRE CEMENT LAP SIDING SMOOTH, 6" EXPOSURE, PAINTED
	6a	FIBRE CEMENT LAP SIDING SMOOTH, 6" EXPOSURE, PAINTED
	7	FIBRE CEMENT SHINGLE SIDING, PAINTED
WALL	7a	FIBRE CEMENT SHINGLE SIDING, PAINTED
	8	FIBRE CEMENT PANEL SMOOTH W/ BATTENS, PAINTED
	8a	FIBRE CEMENT PANEL SMOOTH W/ BATTENS, PAINTED
	9	FIBRE CEMENT PANEL SMOOTH W/ BATTENS, PAINTED
	10	2X10 WOOD BATTENS, PAINTED
WALL	11	VINYL FRAME WINDOWS
	12	2X4 WOOD TRIM, PAINTED
	13	2X10 WOOD BALCONY FASCIA, PAINTED
	14	ENTRY DOOR, METAL, CLAD W/ ALUMINUM, PAINTED
	15	ALUMINUM GARAGE DOOR, PAINTED
DOOR	16	WOOD CLADDING ENTRY POSTS, BEAMS & RAFTERS, PAINTED
	17	BALCONY DOOR
	18	PRIVACY SCREEN, WOOD FENCING & GATES
	19	PRE-FINISHED ALUMINUM GUTTER & RAIL
	20	WOOD DETAILS, BRACKETS, DENTILS, PAINTED
DETAILS	21	WOOD PLASTER BOSS, PAINTED
	22	PRE-FINISHED ALUMINUM CORNICES, CRIPPLES
	23	WOOD PLASTER BOSS, PAINTED
	24	WOOD PLASTER BOSS, PAINTED
	25	WOOD PLASTER BOSS, PAINTED

COLOR SCHEME 2

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ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
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CONSULTANT	



PROJECT

ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY

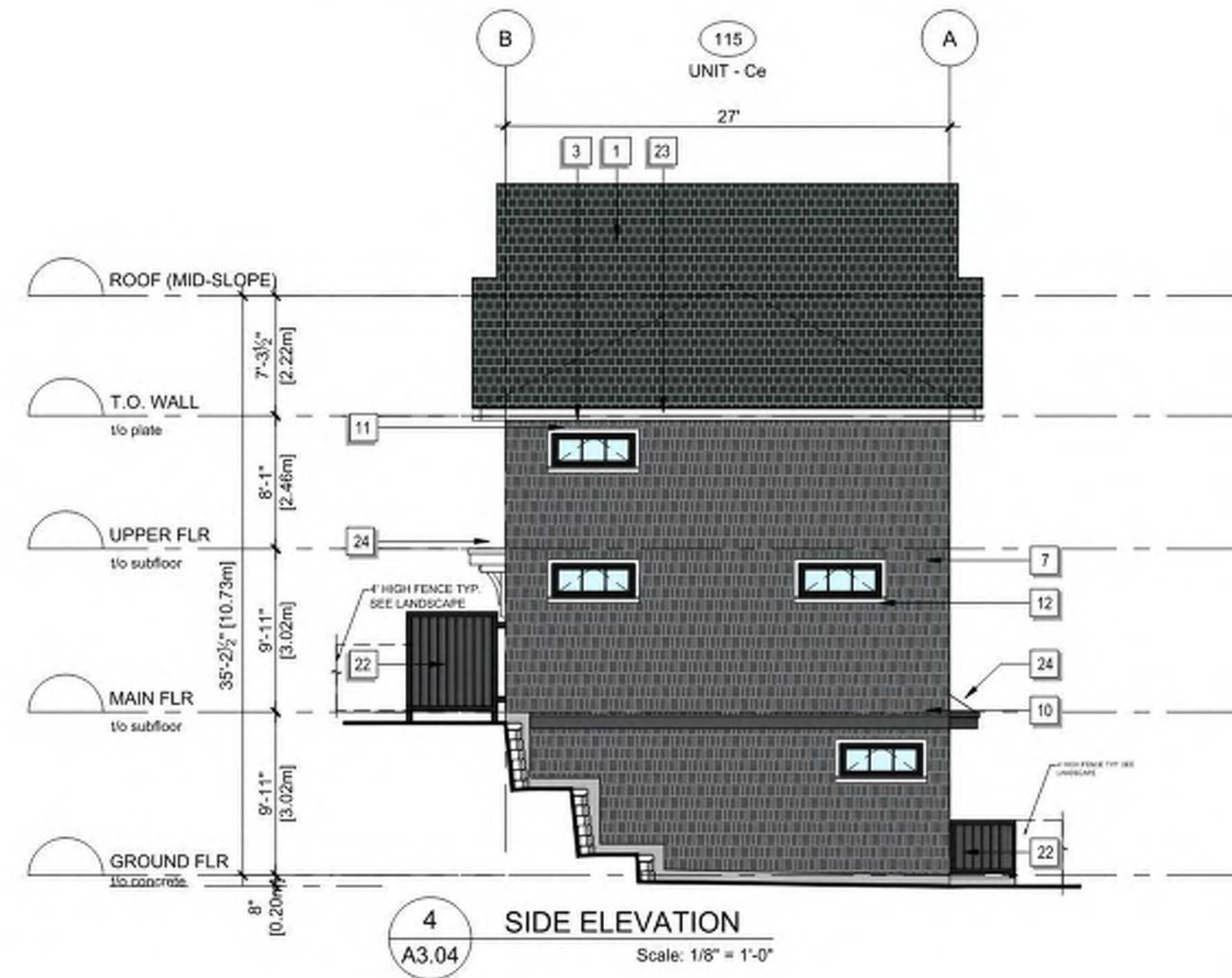
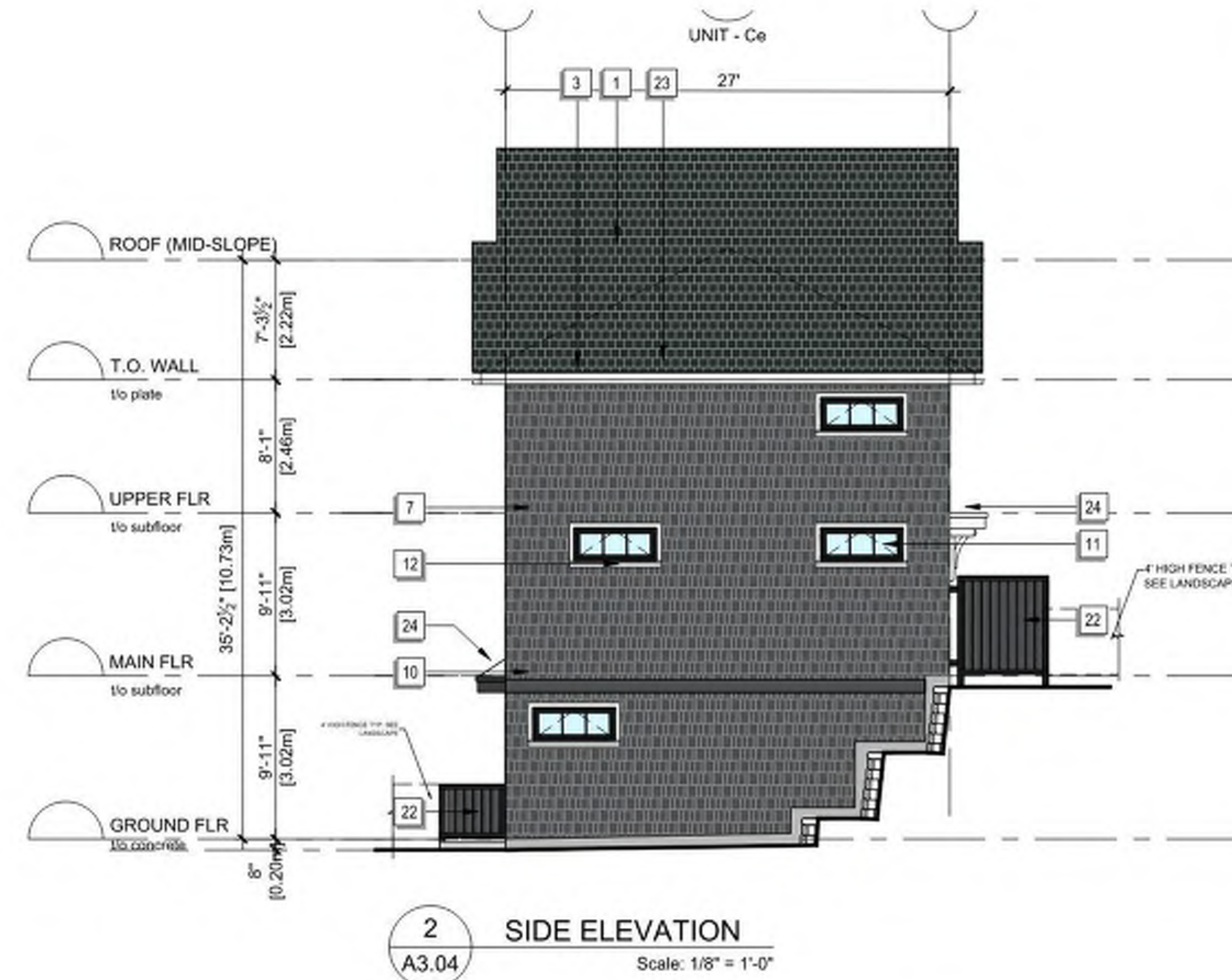
COLWOOD, BC

DRAWING TITLE

BUILDING #3 ELEVATIONS

DRAWING No.

A3.03



MATERIAL LEGEND		
	MATERIALS	
ROOF	1 ASPHALT / SHINGLE PITCHED ROOF	1 FIBRO ANTIQUE BLACK (MM BLACK)
	2 WOOD FASCIA, PAINTED	1 LIGHT GREY (MM LIGHT GREY)
	3 PERFORATED VINYL SOFFIT	1 OLIVET LAMB (MM OLIVET)
	4 EXTENDED CEDAR SOFFIT	1 OLYMPIC BRUSH TRANSPARENT CEDAR NATURAL TONE
	5 METAL ROOF	1 CHARCOAL
	6 FIBRE CEMENT LAP SIDING (SMOOTH / EXPOSURE), PAINTED	1 CHARCOAL GREY (MM CHARCOAL GREY)
	6A FIBRE CEMENT LAP SIDING (SMOOTH / EXPOSURE), PAINTED	1 LIGHT GREY (MM LIGHT GREY)
	7 FIBRE CEMENT SHINGLE SIDING, PAINTED	1 CHARCOAL GREY (MM CHARCOAL GREY)
	7A FIBRE CEMENT SHINGLE SIDING, PAINTED	1 CHARCOAL GREY (MM CHARCOAL GREY)
	8 FIBRE CEMENT PANEL (SMOOTH / BATTING), PAINTED	1 CHARCOAL GREY (MM CHARCOAL GREY)
WALL	8A FIBRE CEMENT PANEL (SMOOTH / BATTING), PAINTED	1 LIGHT GREY (MM LIGHT GREY)
	9 FIBRE CEMENT PANEL (SMOOTH / BATTING), PAINTED	1 LIGHT GREY (MM LIGHT GREY)
	9A FIBRE CEMENT PANEL (SMOOTH / BATTING), PAINTED	1 LIGHT GREY (MM LIGHT GREY)
	10 2X10 WOOD BELL BARS, PAINTED	1 MATCH BOND COLOR
	11 VINYL FRAME WINDOWS	1 BLACK (MM BLACK)
	12 2X4 WOOD TRIM, PAINTED	1 LIGHT GREY (MM LIGHT GREY)
	13 2X10 WOOD BALCONY FASCIA, PAINTED	1 LIGHT GREY (MM LIGHT GREY)
DOOR	15 ENTRY DOOR: METAL GLASS / WOODING, PAINTED	1 CHARCOAL GREY (MM CHARCOAL GREY)
	19 ALUMINUM GARAGE DOOR, PAINTED	1 CHARCOAL GREY (MM CHARCOAL GREY)
	18 WOOD GLAZING ENTRY POSTS, BEAMS & TRIMMER, PAINTED	1 BM LIGHT GREY (MM LIGHT GREY)
	20 BALCONY DOOR	1 CHARCOAL GREY (MM CHARCOAL GREY)
DETAILS	23 PRIVACY SCREEN, WOOD FENCING & GATES	1 BLACK FIBRE / SLATS COLOR TO MATCH SHINGLE SIDING
	25 PRE-FINISHED ALUMINUM GUTTER & RAIN	1 TO MATCH FASCIA COLOR
	24 WOOD DETAILS: GRACIETS, SENTS, PAINTED	1 BM LIGHT GREY (MM LIGHT GREY)
	26 WOOD PLASTER BOX, PAINTED	1 TO MATCH TRIM COLOR
NOTE 1: ALL FINISHINGS TO BE MAIN METALS - COLORS TO MATCH TRIM		



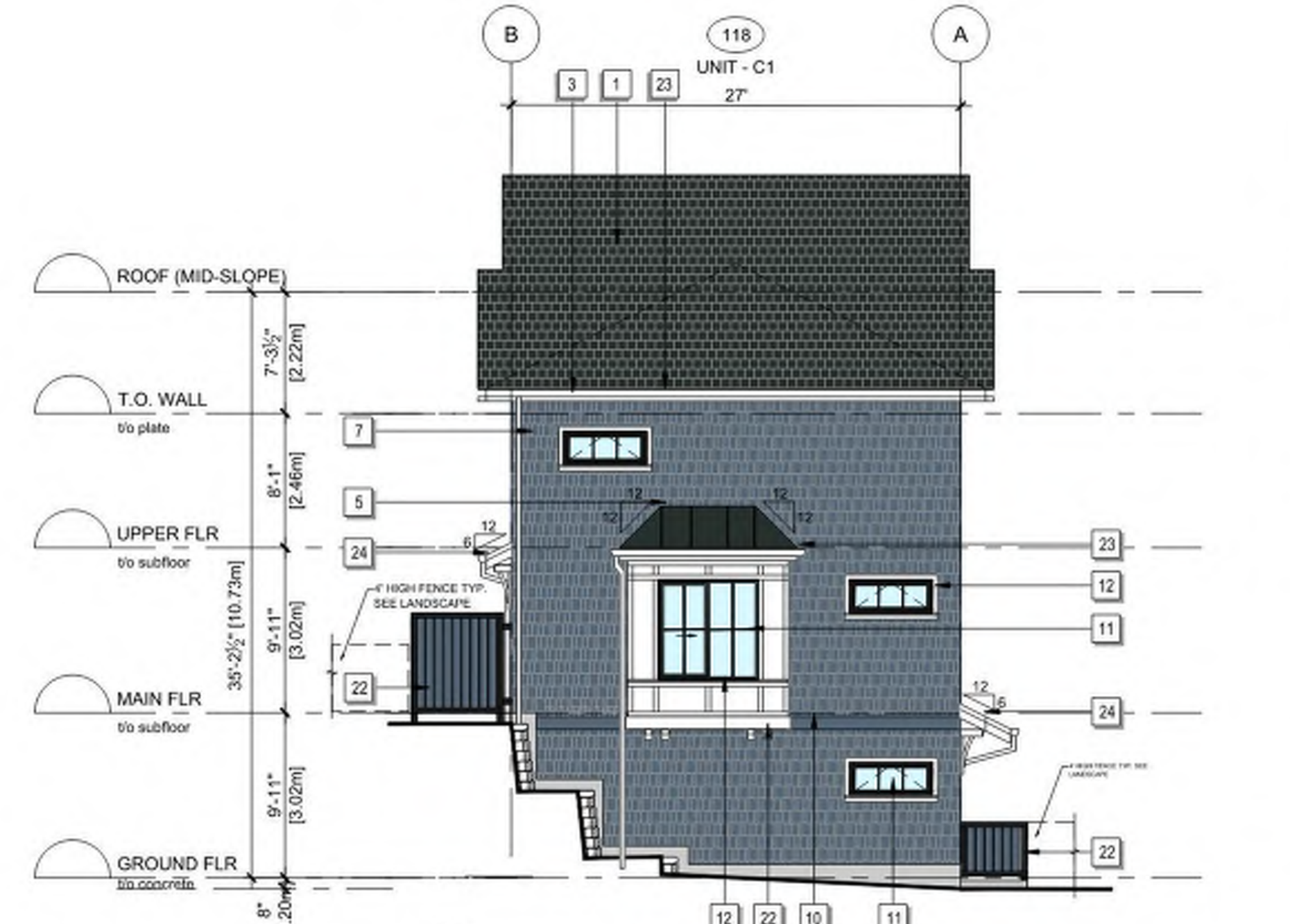
1 FRONT ELEVATION
A3.05
Scale: 1/8" = 1'-0"



3 REAR ELEVATION
A3.05
Scale: 1/8" = 1'-0"



2 SIDE ELEVATION
A3.05
Scale: 1/8" = 1'-0"



4 SIDE ELEVATION
A3.05
Scale: 1/8" = 1'-0"

MATERIAL LEGEND		
ROOF	MATERIALS	SCHEM 1
	1 ASPHALT SHINGLE PITCHED ROOF	PANOS ANTIGUA BLACK (MM BLACK)
	2 WOOD FASCIA, PAINTED	LIGHT GREY (MM LIGHT GREY)
	3 PERFORATED VINYL SOFFIT	CREAM (MM LIGHT GREY)
	4 STAINED CEDAR SHIPIT	OLYMPIC BORN TRANSPARENT CEDAR NATURAL TONE
WALL	5 METAL ROOF	CHARCOAL
	6 FIBRE CEMENT LAP SIDING SMOOTH, 6" EXPOSURE, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)
	7 FIBRE CEMENT LAP SIDING SMOOTH, 6" EXPOSURE, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)
	8 FIBRE CEMENT SHINGLE SIDING, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)
	9 FIBRE CEMENT SHINGLE SIDING, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)
	10 FIBRE CEMENT PANEL, SMOOTH W/ BATTENS, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)
	11 FIBRE CEMENT PANEL, SMOOTH W/ BATTENS, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)
	12 VINYL FRAMED WINDOWS	BLACK (MM BLACK)
	13 VINYL FRAMED WINDOWS	BLACK (MM BLACK)
	14 VINYL FRAMED WINDOWS	BLACK (MM BLACK)
DOOR	15 ENTRY DOOR, METAL, COAT HOOKS, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)
	16 ALUMINUM GARAGE DOOR, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)
	17 WOOD CLADDING ENTRY POSTS, BEAMS & BATTENS, PAINTED	BLACK (MM BLACK)
	18 WOOD CLADDING ENTRY POSTS, BEAMS & BATTENS, PAINTED	BLACK (MM BLACK)
	19 WOOD CLADDING ENTRY POSTS, BEAMS & BATTENS, PAINTED	BLACK (MM BLACK)
DETAILS	20 PRIVACY SCREEN, WOOD FENCING & GATES	BLACK FRAME W/ SLATE COLOR TO MATCH SHINGLE SIDING
	21 PRE-FINISHED ALUMINUM GUTTER & RAIL	TO MATCH FASCIA COLOR
	22 WOOD DETAILS BRACKETS, DENTILS, PAINTED	BLACK (MM BLACK)
	23 WOOD PLASTER BOSS, PAINTED	BLACK (MM BLACK)
	24 PRE-FINISHED ALUMINUM GUARDRAIL, CHIPPED	BLACK (MM BLACK)

COLOR SCHEME 2

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PROJECT NUMBER	DD-92
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PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

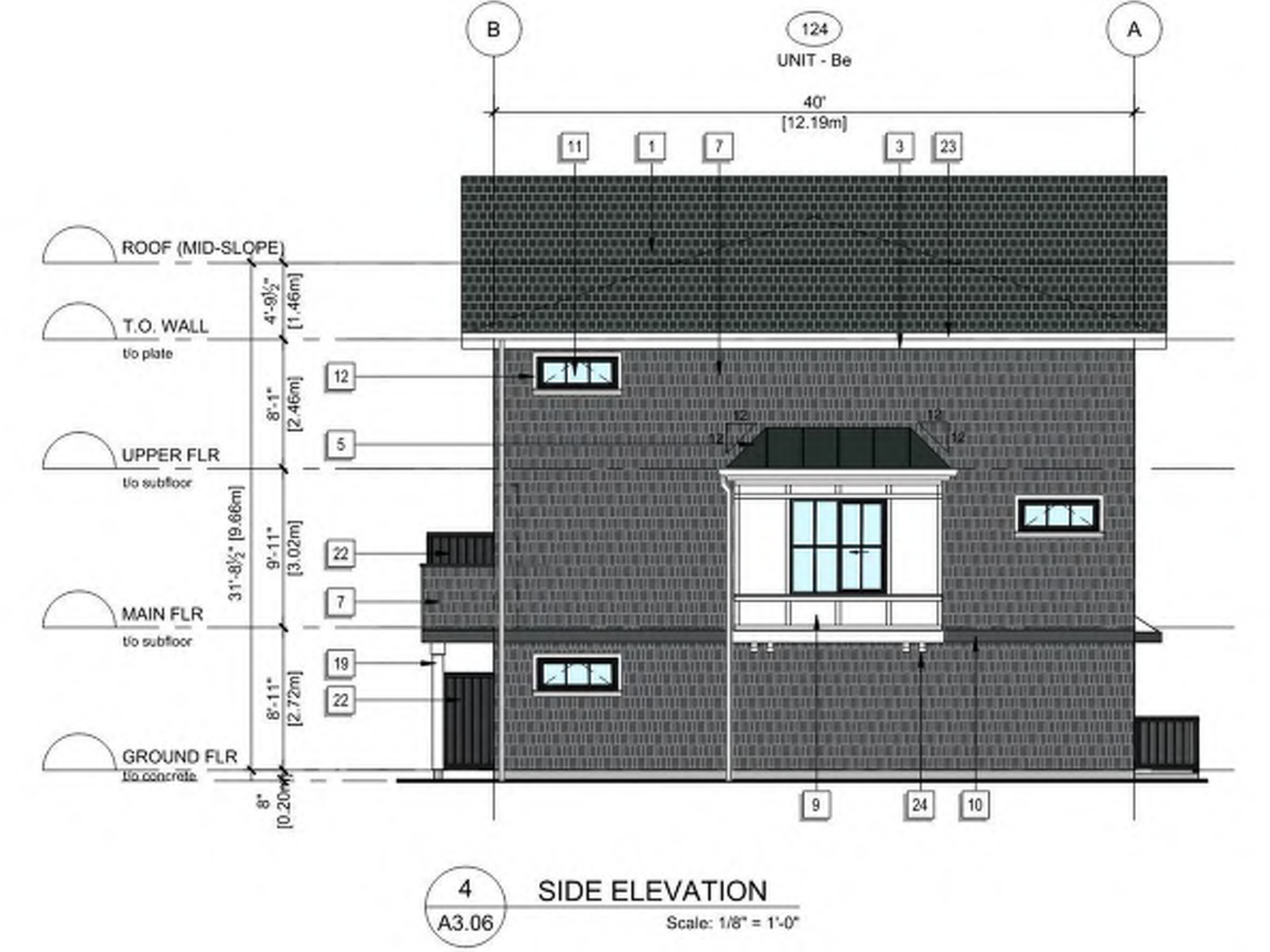
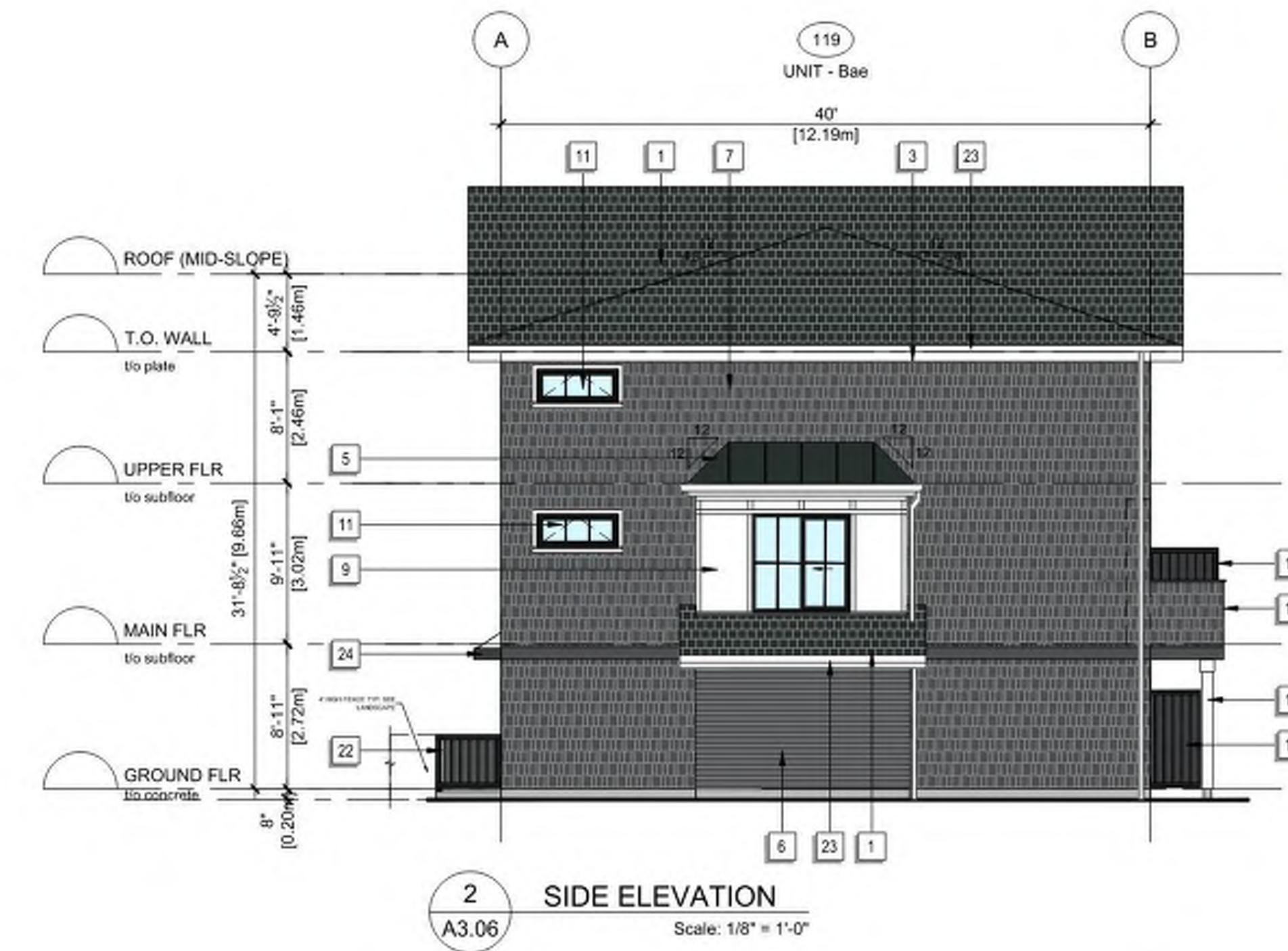
COLWOOD, BC

DRAWING TITLE

**BUILDING #5
ELEVATIONS**

DRAWING No.

A3.05



MATERIAL LEGEND			
MATERIALS		SCHEM 1	SCHEM 2
ROOF	1 ASPHALT SHINGLE PITCHED ROOF	PANOS ANTIGUA BLACK (MM BLACK)	
	2 WOOD FASCIA, PAINTED	LIGHT GREY (MM LIGHT GREY)	CREAM (MM LIGHT GREY)
	3 PERFORATED VINYL SOFFIT	CENTRAL LAMIN (P3)	
	4 STAINED CEDAR SOFFIT	OLYMPIC BERN TRANSWENT CEDAR NATURAL TONE	
	5 METAL ROOF	CHARCOAL	
WALL	6 FIBRE CEMENT LAP SIDING SMOOTH, 6\"	CHARCOAL GREY (MM CHARCOAL GREY)	DARK BLUE (MM DARK BLUE)
	7 FIBRE CEMENT LAP SIDING SMOOTH, 6\"	LIGHT GREY (MM LIGHT GREY)	CREAM (MM CREAM)
	8 FIBRE CEMENT SHINGLE SIDING, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	DARK BLUE (MM DARK BLUE)
	9 FIBRE CEMENT SHINGLE SIDING, PAINTED	LIGHT GREY (MM LIGHT GREY)	CREAM (MM CREAM)
	10 FIBRE CEMENT PANEL, SMOOTH W/ BATTENS, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	LIGHT GREY (MM LIGHT GREY)
	11 FIBRE CEMENT PANEL, SMOOTH W/ BATTENS, PAINTED	LIGHT GREY (MM LIGHT GREY)	
	12 2X4 WOOD TRIM, PAINTED	BLACK (MM BLACK)	
	13 2X4 WOOD TRIM, PAINTED	LIGHT GREY (MM LIGHT GREY)	CREAM (MM LIGHT GREY)
	14 2X4 WOOD BALCONY FASCIA, PAINTED	LIGHT GREY (MM LIGHT GREY)	CREAM (MM LIGHT GREY)
	15 2X4 WOOD BALCONY FASCIA, PAINTED	LIGHT GREY (MM LIGHT GREY)	CREAM (MM LIGHT GREY)
DOOR	16 ENTRY DOOR, METAL, GLASS, ALUMINUM, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	CHARCOAL GREY (MM CHARCOAL GREY)
	17 ALUMINUM GARAGE DOOR, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	CHARCOAL GREY (MM CHARCOAL GREY)
	18 WOOD CLADDING ENTRY POSTS, BEAMS & BATTENS, PAINTED	BM LIGHT GREY (MM LIGHT GREY)	BM CREAM (MM LIGHT GREY)
	19 BALCONY DOOR	CHARCOAL GREY (MM CHARCOAL GREY)	CHARCOAL GREY (MM CHARCOAL GREY)
	20 BALCONY DOOR	CHARCOAL GREY (MM CHARCOAL GREY)	CHARCOAL GREY (MM CHARCOAL GREY)
DETAILS	21 PRIVACY SCREEN, WOOD FENCING & GATES	BLACK FRAME W/ SLATE COLOR TO MATCH SHINGLE SIDING	
	22 PRE-FINISHED ALUMINUM GUTTER & RAIL	TO MATCH FASCIA COLOR	
	23 WOOD DETAILS, BRACKETS, DENTILS, PAINTED	BM LIGHT GREY (MM LIGHT GREY)	BM CREAM (MM LIGHT GREY)
	24 WOOD PLANTER BOX, PAINTED	TO MATCH TRIM COLOR	
	25 PRE-FINISHED ALUMINUM GUARDRAIL, CHIPPED	BLACK	

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1	ISSUES	DATE
8		
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4	REISSUED FOR DP APPLICATION	2023-06-20
3	RE-ISSUED FOR DP APPLICATION	2023-05-24
2	RE-ISSUED FOR DP APPLICATION	2023-03-01
1	ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER DD-92

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DATE CHECKED

CONSULTANT

PROJECT

ABSTRACT
DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

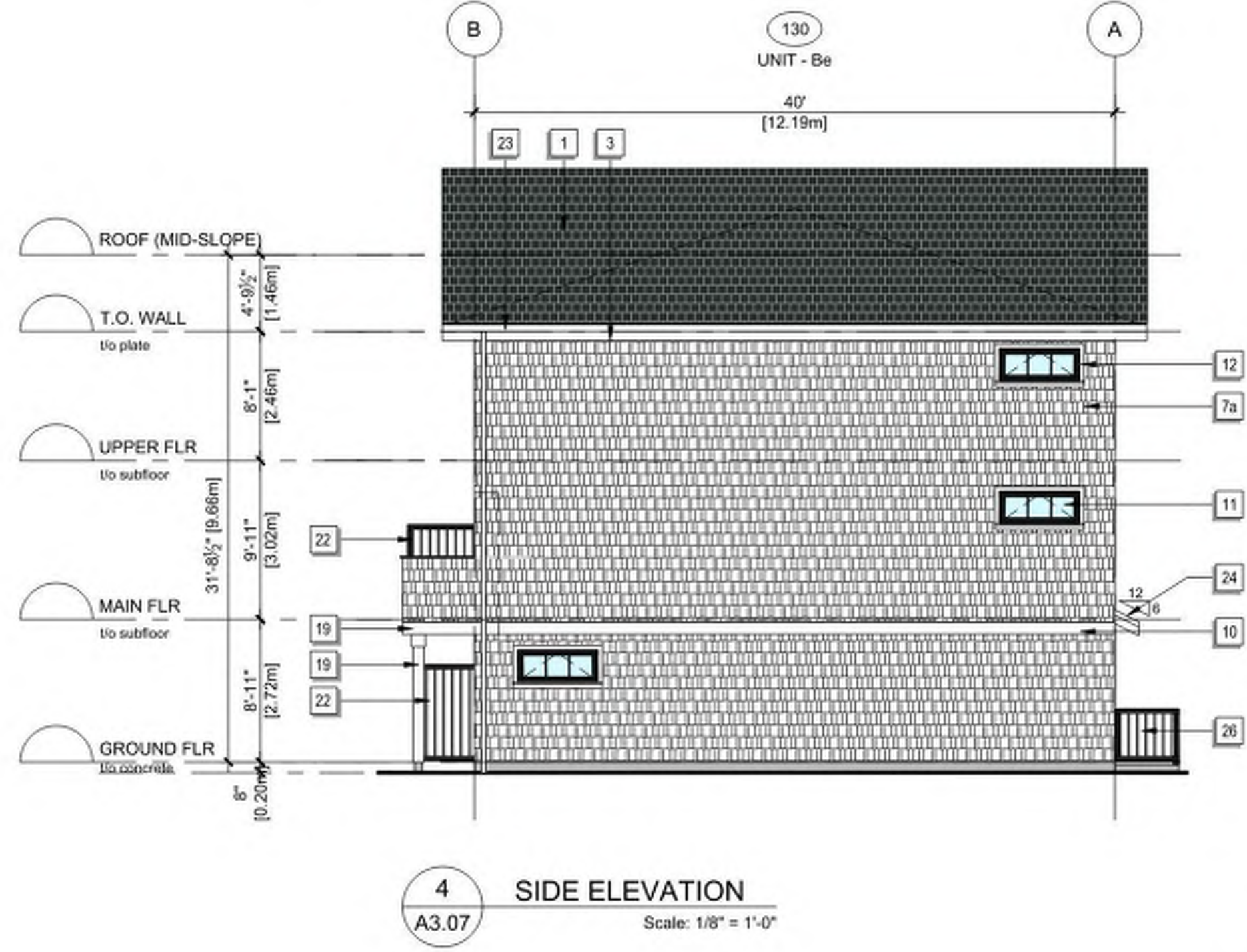
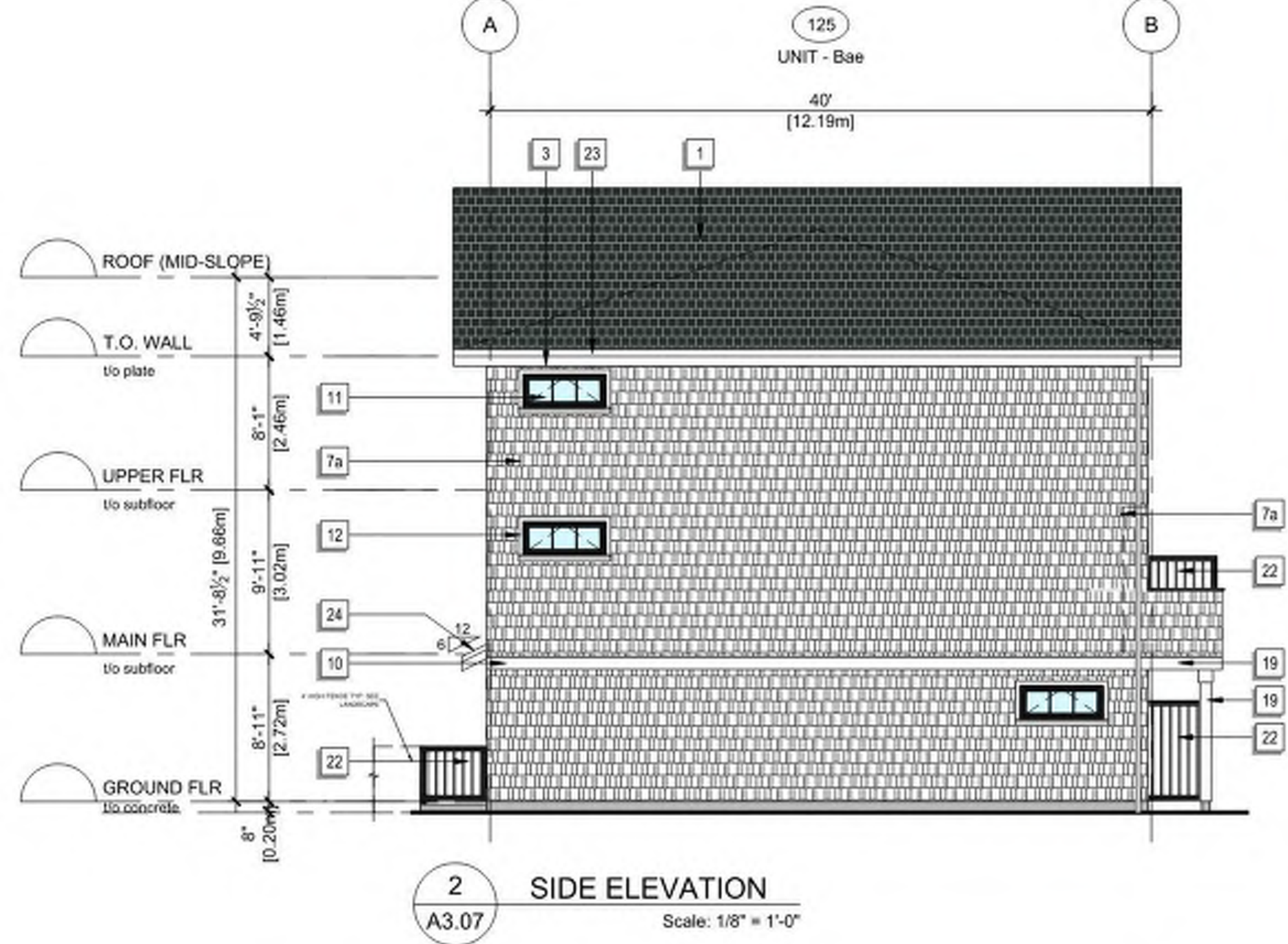
COLWOOD, BC

DRAWING TITLE

BUILDING #6
ELEVATIONS

DRAWING No.

A3.06



MATERIAL LEGEND			
ROOF	MATERIALS	SCHEME 1	SCHEME 2
	1 ASPHALT / SHINGLE PITCHED ROOF	PANOS ANTIQUE BLACK (MM BLACK)	
	2 WOOD FASCIA, PAINTED	LIGHT GREY (MM LIGHT GREY)	CREAM (MM LIGHT GREY)
	3 POLYURETHANE VINYL SOFFIT	CENTRAL LAMB (S)	
	4 STAINED CEDAR SIDING	OLYMPIC BRUSH TRANSPARENT CEDAR NATURAL TONE	
WALL	5 METAL ROOF	CHARCOAL	
	6 FIBRE CEMENT LAP SIDING SMOOTH, 6" EXPOSURE, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	DARK BLUE (MM DARK BLUE)
	7 FIBRE CEMENT LAP SIDING SMOOTH, 6" EXPOSURE, PAINTED	LIGHT GREY (MM CREAM)	CREAM (MM CREAM)
	8 FIBRE CEMENT SHINGLE SIDING, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	DARK BLUE (MM DARK BLUE)
	9 FIBRE CEMENT SHINGLE SIDING, PAINTED	CREAM (MM CREAM)	CREAM (MM CREAM)
	10 FIBRE CEMENT PANEL SMOOTH W/ BATTENS, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	
	11 FIBRE CEMENT PANEL SMOOTH W/ BATTENS, PAINTED	LIGHT GREY (MM WHITE)	
	12 2X10 WOOD SILLY BARS, PAINTED	BLACK (MM BLACK)	
	13 VINYL FRAME WINDOWS	LIGHT GREY (MM LIGHT GREY)	
	14 2X4 WOOD TRIM, PAINTED	BLACK (MM BLACK)	
DOOR	15 2X10 WOOD BALCONY FASCIA, PAINTED	LIGHT GREY (MM WHITE)	CREAM (MM LIGHT GREY)
	16 ENTRY DOOR, METAL, CLAD W/ GLAZING, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	
	17 ALUMINUM GARAGE DOOR, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	
	18 WOOD CLADDING ENTRY POSTS, BEAMS & RAFTERS, PAINTED	BM LIGHT GREY (MM WHITE)	BM CREAM (MM LIGHT GREY)
	19 BALCONY DOOR	CHARCOAL GREY (MM CHARCOAL GREY)	
DETAILS	20 PRIVACY SCREEN, WOOD FENCING & GATES	BLACK FRAME W/ SLATS COLOR TO MATCH SHINGLE SIDING	
	21 PRE-FINISHED ALUMINUM GUTTER & SILL	TO MATCH FASCIA COLOR	
	22 WOOD DETAILS, BRACKETS, DENTILS, PAINTED	BM LIGHT GREY (MM WHITE)	BM CREAM (MM LIGHT GREY)
	23 WOOD PLANTER BOX, PAINTED	TO MATCH TRIM COLOR	
NOTE: 1. ALL FINISHINGS TO BE MATCH METALS - COLORS TO MATCH FIRM.			

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PROJECT NUMBER		DD-92
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DATE CHECKED		
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REGISTERED ARCHITECT
MARK BLACKWOOD
2023-06-21
BRITISH COLUMBIA

PROJECT

ABSTRACT
DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

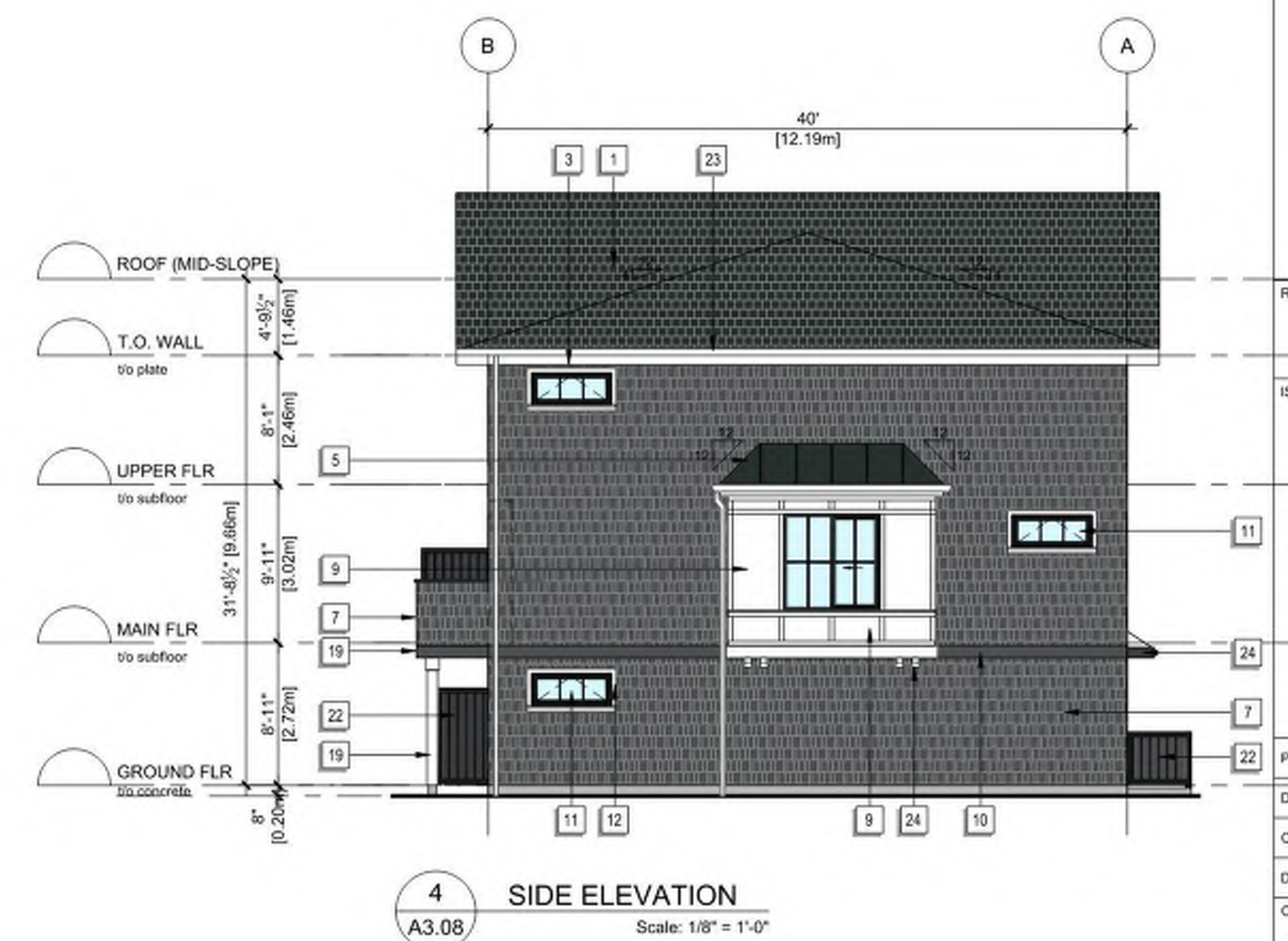
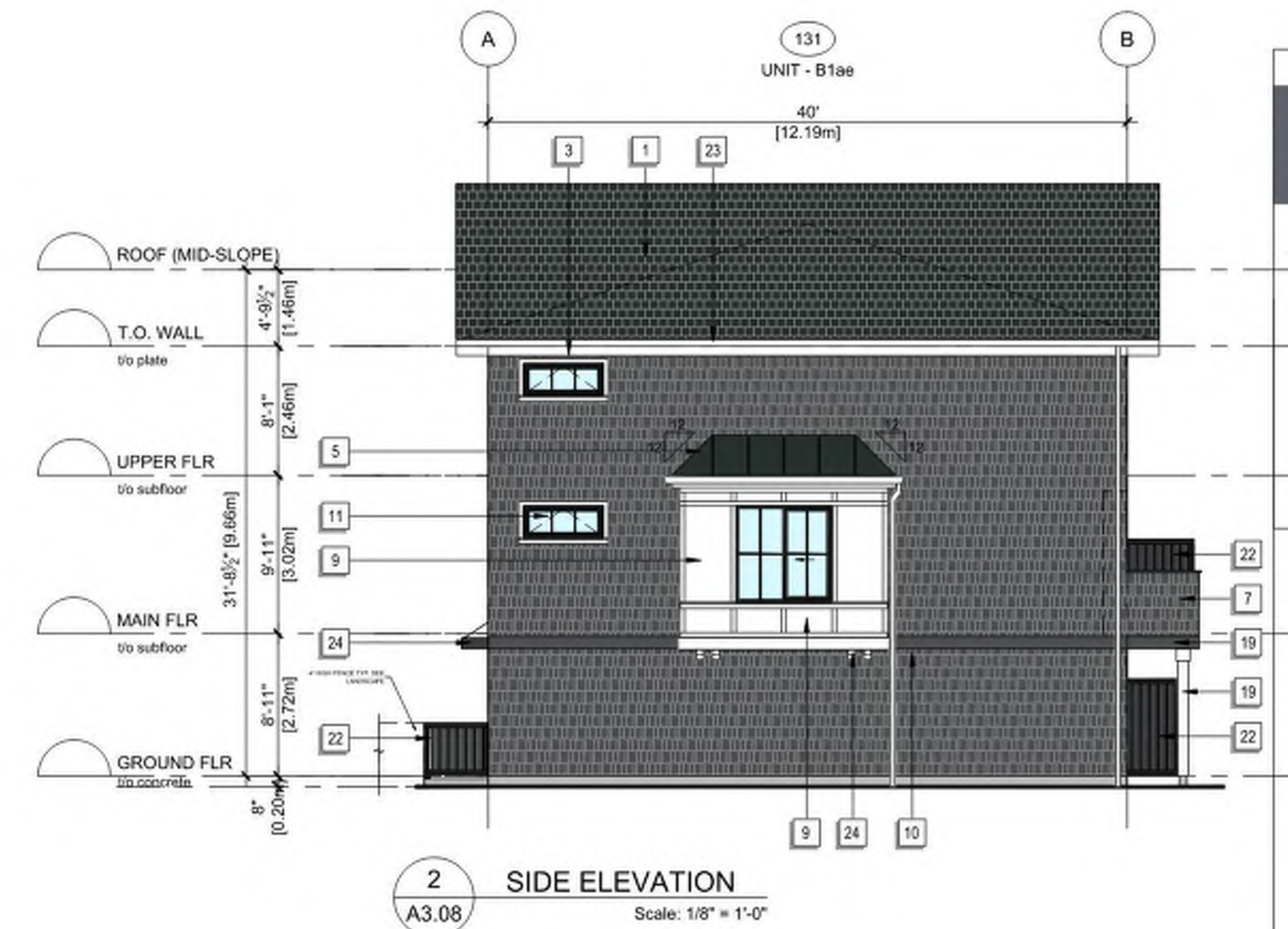
COLWOOD, BC

DRAWING TITLE

BUILDING #7
ELEVATIONS

DRAWING No.


A3.07

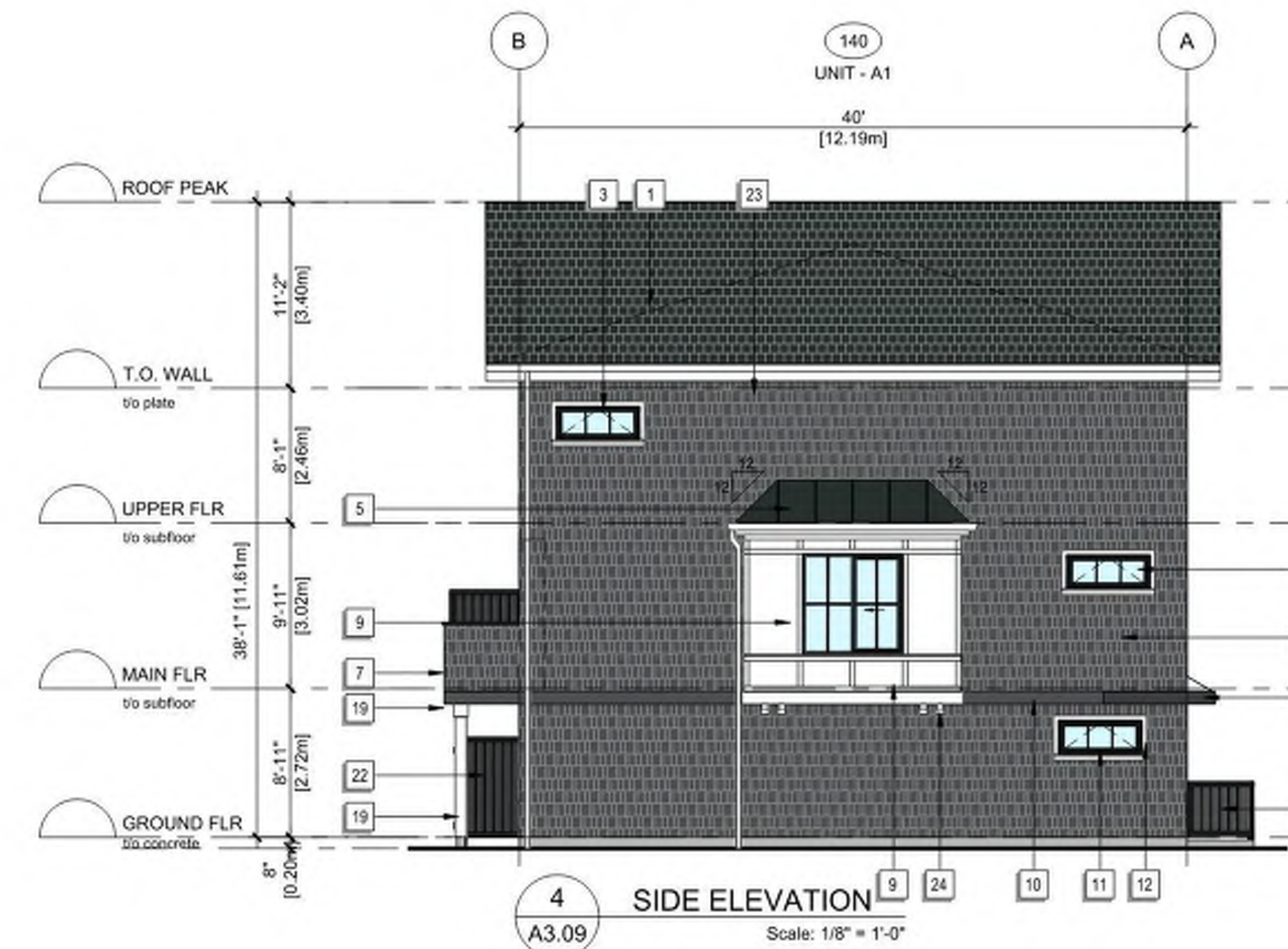
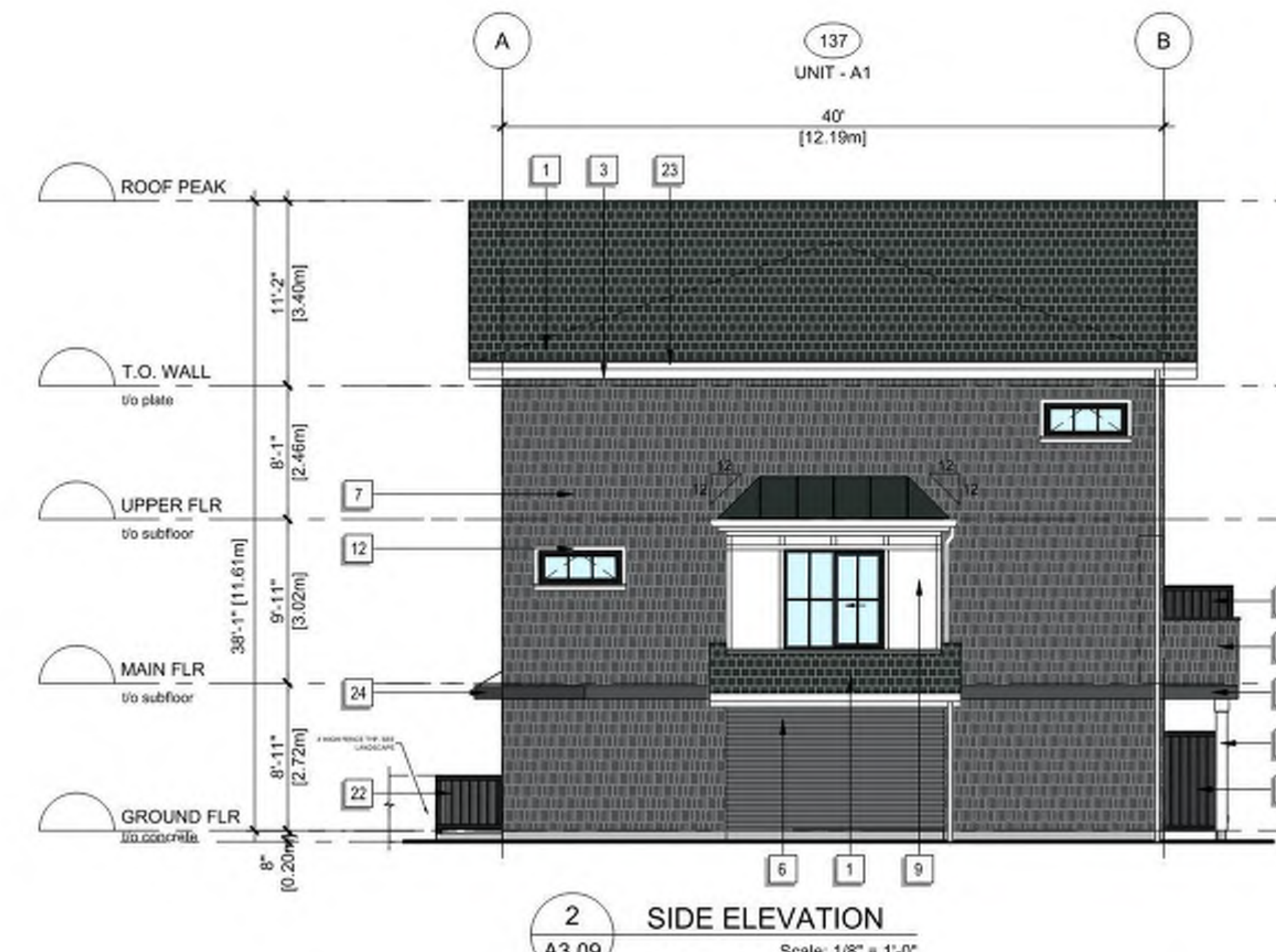
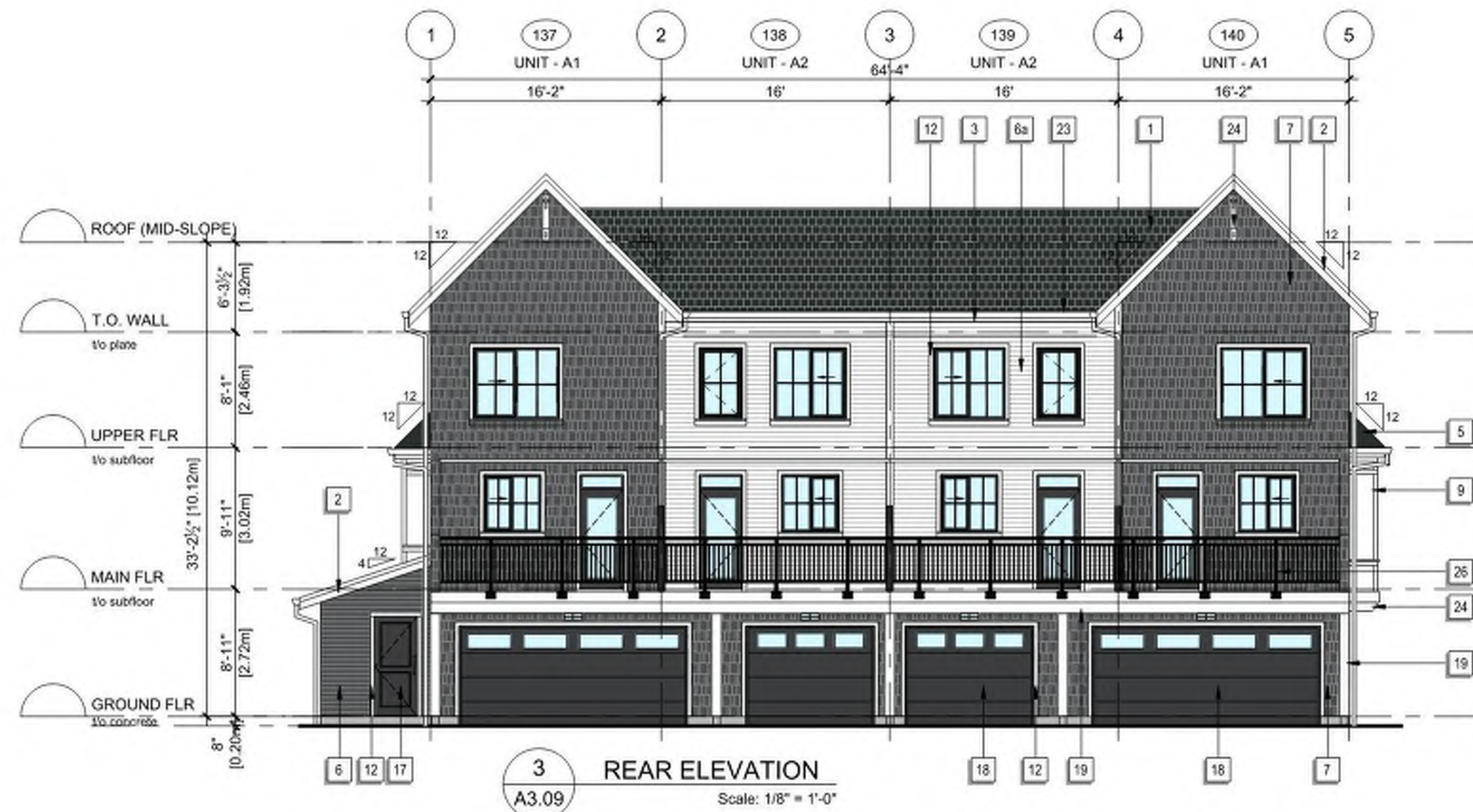


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PROJECT NUMBER		DD-92
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MATERIAL LEGEND				
	MATERIALS		SCHEME 1	SCHEME 2
ROOF	1 ASPHALT SHINGLE GUTTERED ROOF		FARCO ANTIQUE BLACK (BM BLACK)	
	2 WOOD FASCIA, PAINTED		LIGHT GREY (BM WHITE)	CREAM (BM LIGHT GREY)
	3 HYPOCRATED VINYL SHIPIT			SEATTLE LAMBERTS (21)
	4 STAINED CEDAR SHIPIT		OLYMPIC SEMI-TRANSPARENT CEDAR NATURAL TONE	
	5 METAL ROOF		CHAMPICOL	
	6 FIBRE CEMENT LAP SIDING SMOOTH, 1" EXPOSURE, PAINTED		CHAMPICOL, GREY (BM CHAMPICOL, GREY)	DRINK UP (BM DRINK UP)
	6A FIBRE CEMENT LAP SIDING SMOOTH, 1" EXPOSURE, PAINTED		LIGHT GREY (BM WHITE)	CREAM (BM LIGHT GREY)
	7 FIBRE CEMENT SIDING, PAINTED		CHAMPICOL, GREY (BM CHAMPICOL, GREY)	DRINK UP (BM DRINK UP)
	7A FIBRE CEMENT SIDING, PAINTED			CREAM (BM CREAM)
	8 FIBRE CEMENT PANEL, SMOOTH IN BATTENS, PAINTED		CHAMPICOL, GREY (BM CHAMPICOL, GREY)	
WALL	8A FIBRE CEMENT PANEL, SMOOTH IN BATTENS, PAINTED		LIGHT GREY (BM WHITE)	
	9 FIBRE CEMENT PANEL, SMOOTH		LIGHT GREY (BM LIGHT GREY)	
	10 WOOD SHIPIT, RAIN, PAINTED		BM TO BROWN COLOR	
	11 VINYL FRAME WINDOWS		BLACK (BM BLACK)	
	12 2x4 WOOD TRIM, PAINTED		LIGHT GREY (BM WHITE)	CREAM (BM LIGHT GREY)
	13 2x4x6 WOOD CLADDING FASCIA, PAINTED		LIGHT GREY (BM WHITE)	CREAM (BM LIGHT GREY)
	14 1x4x4x6 WOOD CLADDING FASCIA, PAINTED		CHAMPICOL, GREY (BM CHAMPICOL, GREY)	
	15 1x4x4x6 WOOD CLADDING FASCIA, PAINTED		CHAMPICOL, GREY (BM CHAMPICOL, GREY)	
	16 WOOD CLADDING 2x1x4x6 POSTS, BEAMS & RAFTERS, PAINTED		BM, LIGHT GREY (BM LIGHT GREY)	BM, CREAM (BM LIGHT GREY)
	17 BALCONY DOOR		CHAMPICOL, GREY (BM CHAMPICOL, GREY)	
DOOR	18 1x4x4x6 WOOD CLADDING FASCIA, PAINTED		CHAMPICOL, GREY (BM CHAMPICOL, GREY)	
	19 ALUMINUM CLADDING CORNER, PAINTED		CHAMPICOL, GREY (BM CHAMPICOL, GREY)	
	20 WOOD CLADDING 2x1x4x6 POSTS, BEAMS & RAFTERS, PAINTED		BM, LIGHT GREY (BM LIGHT GREY)	BM, CREAM (BM LIGHT GREY)
	21 BALCONY DOOR		CHAMPICOL, GREY (BM CHAMPICOL, GREY)	
DETAIL	22 PRIVACY SCREEN, WOOD-FRAMING & LATHS		BLACK FRAME IN SLATS COLOR TO MATCH BATHING BENCH	
	23 PRE-FABRICATED ALUMINUM GUARANTEE RAIL		TO MATCH FASCIA COLOR	
	24 WOOD DECK, BRACKETED, DECKING, PAINTED		BM, LIGHT GREY (BM WHITE)	BM, CREAM (BM LIGHT GREY)
	25 WOOD PLANTED BED, 1\"/>			

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PROJECT

ABSTRACT
DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

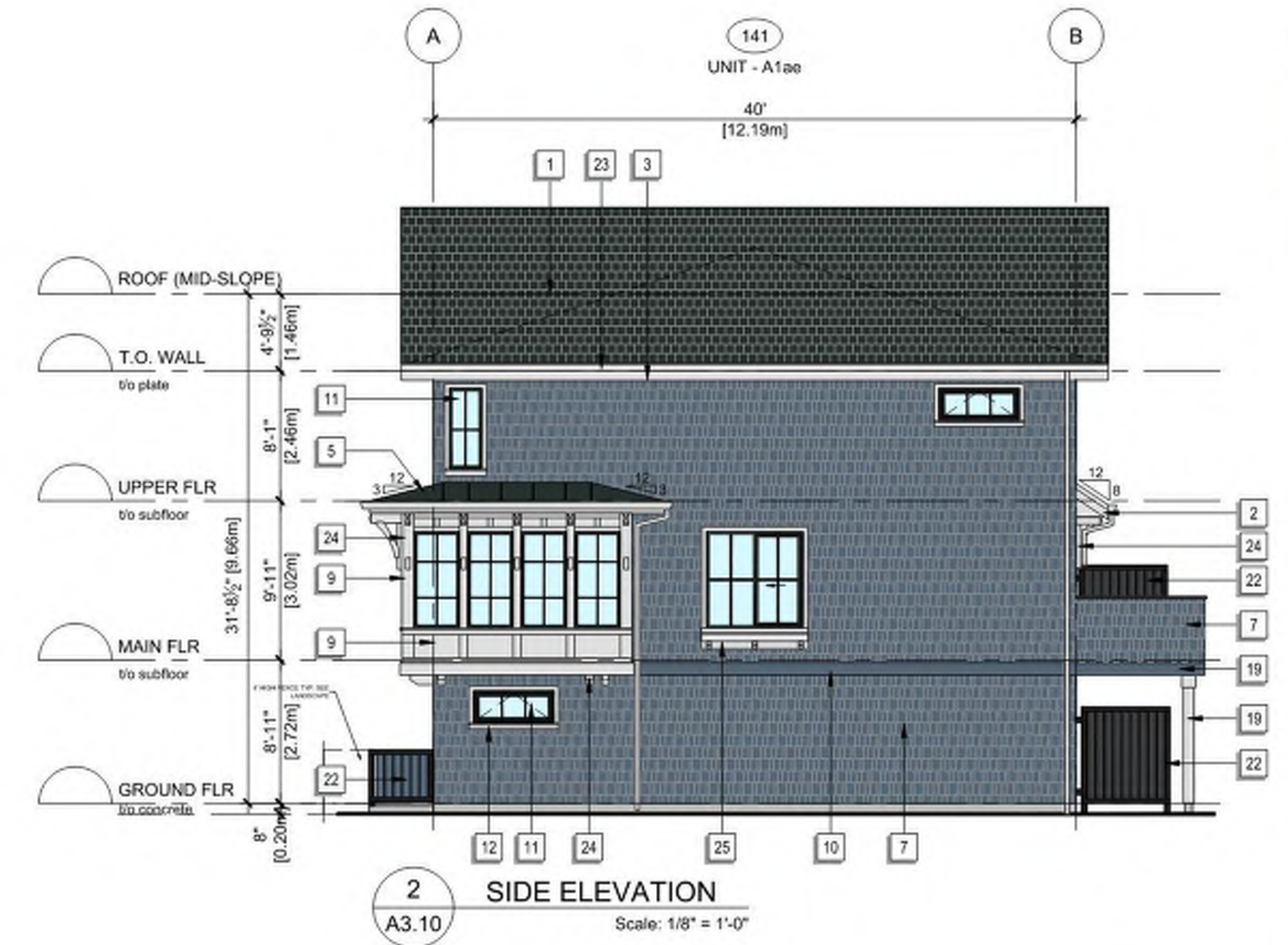
COLWOOD, BC

DRAWING TITLE

BUILDING #9
ELEVATIONS

DRAWING No.

A3.09



MATERIAL LEGEND			
MATERIALS		SCHEM 1	SCHEM 2
ROOF	1 ASPHALT / SHINGLE PITCHED ROOF	PAVED / ANTIGRA BLACK (MM BLACK)	
	2 WOOD FASCIA, PAINTED	LIGHT GREY (MM LIGHT GREY)	CREAM (MM LIGHT GREY)
	3 PERFORATED VINYL SOFFIT	CENTER LINE (100)	
	4 STAINED CEDAR SOFFIT	OLYMPIC BROWN TRANSPARENT CEDAR NATURAL STONE	
	5 METAL ROOF	CHARCOAL	
WALL	6 FIBRE CEMENT LAP SIDING SMOOTH, 8" EXPOSURE, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	DARK BLUE (MM DARK BLUE)
	7 FIBRE CEMENT LAP SIDING SMOOTH, 8" EXPOSURE, PAINTED	LIGHT GREY (MM LIGHT GREY)	CREAM (MM CREAM)
	8 FIBRE CEMENT SHINGLE SIDING, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	DARK BLUE (MM DARK BLUE)
	9 FIBRE CEMENT SHINGLE SIDING, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	CREAM (MM CREAM)
	10 FIBRE CEMENT PANEL, SMOOTH W/ BATTENS, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	
	11 FIBRE CEMENT PANEL, SMOOTH W/ BATTENS, PAINTED	LIGHT GREY (MM LIGHT GREY)	
	12 FIBRE CEMENT PANEL, SMOOTH W/ BATTENS, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	
	13 FIBRE CEMENT PANEL, SMOOTH W/ BATTENS, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	
	14 VINYL FRAME WINDOWS	BLACK (MM BLACK)	
	15 2x4 WOOD TRIM, PAINTED	LIGHT GREY (MM LIGHT GREY)	CREAM (MM LIGHT GREY)
DOOR	16 ENTRY / DOOR, METAL, COAT-PROTECTING, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	
	17 ALUMINUM GARAGE DOOR, PAINTED	CHARCOAL GREY (MM CHARCOAL GREY)	
	18 WOOD CLADDING ENTRY POSTS, BEAMS & BATTENS, PAINTED	BLACK LIGHT GREY (MM LIGHT GREY)	BLACK CREAM (MM LIGHT GREY)
	19 BALCONY DOOR	CHARCOAL GREY (MM CHARCOAL GREY)	
	20 BALCONY DOOR	CHARCOAL GREY (MM CHARCOAL GREY)	
DETAILS	21 PRIVACY SCREEN, WOOD FENCING & GATES	BLACK FRAME W/ SLATE COLOR TO MATCH SHINGLE SIDING	
	22 PRE-FINISHED ALUMINUM GUTTER & RAIL	TO MATCH FASCIA COLOR	
	23 WOOD DETAILS BRACKETS, DENTILS, PAINTED	BLACK LIGHT GREY (MM LIGHT GREY)	BLACK CREAM (MM LIGHT GREY)
	24 WOOD PLANTER BOX, PAINTED	BLACK LIGHT GREY (MM LIGHT GREY)	
	25 PRE-FINISHED ALUMINUM GUARDRAIL, CHIPPED	TO MATCH TRIM COLOR	

NOTE: 1. ALL FLASHINGS TO BE MATCH METALS - COLORS TO MATCH TRIM.

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REISSUED FOR DP APPLICATION	2023-06-20
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RE-ISSUED FOR DP APPLICATION	2023-03-01
ISSUED FOR DP APPLICATION	2022-10-17

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**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

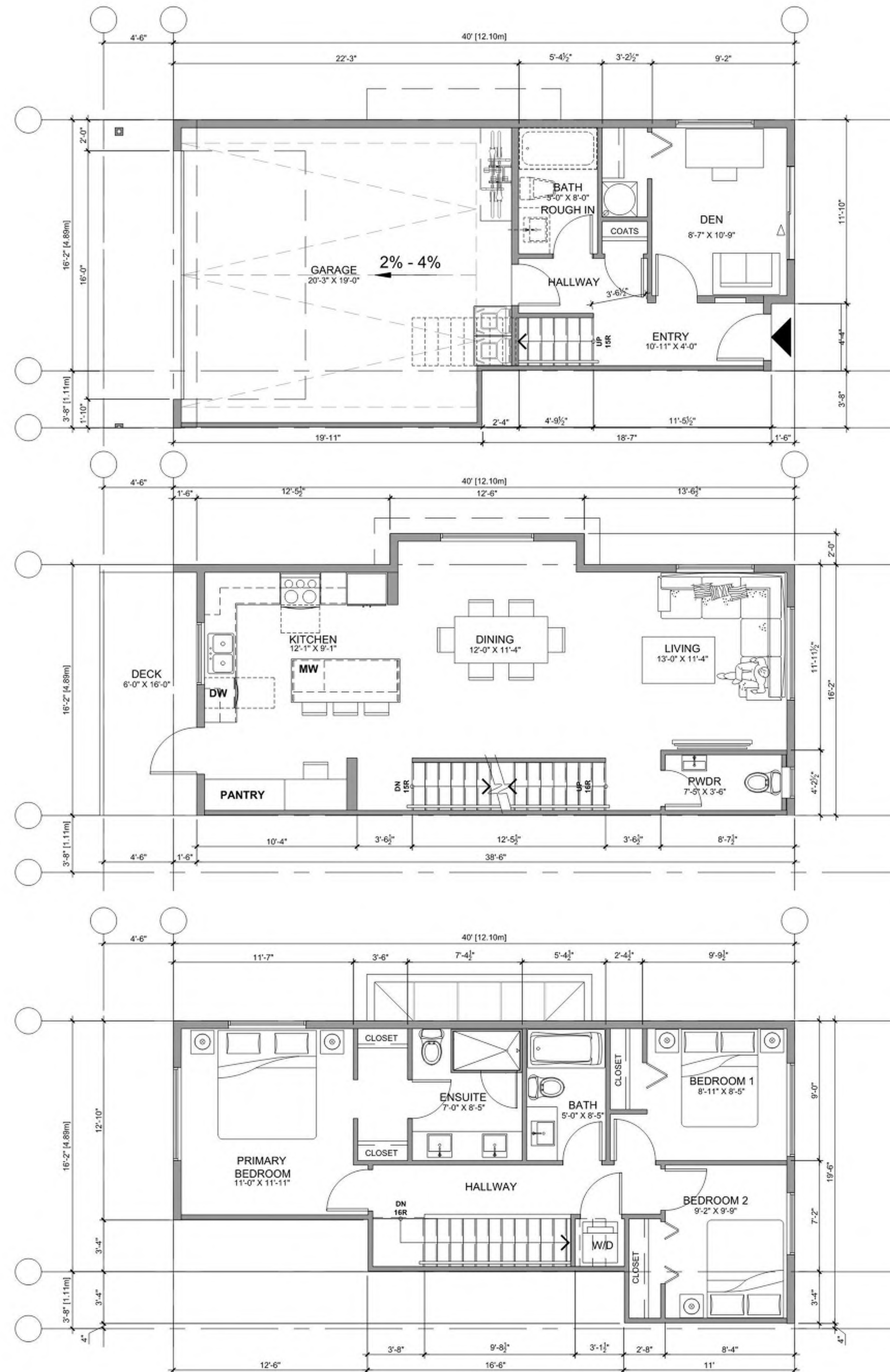
COLWOOD, BC

DRAWING TITLE

**BUILDING #10
ELEVATIONS**

DRAWING No.

A3.10



UNIT A1 AREAS:	S.F.	S.M.
- GROUND FLOOR	284.5	26.43
- MAIN FLOOR	647.4	60.15
- UPPER FLOOR	641.7	59.62
- AREA TOTAL (GROSS) =	1,573.63	146.20
- GARAGE	428.6	39.82
- AREA TOTAL (W/ GARAGE) =	2,002.22	186.01

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

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1 ISSUED FOR DP APPLICATION	2022-10-17

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TRUMPETER LOT 82 - ROYAL BAY

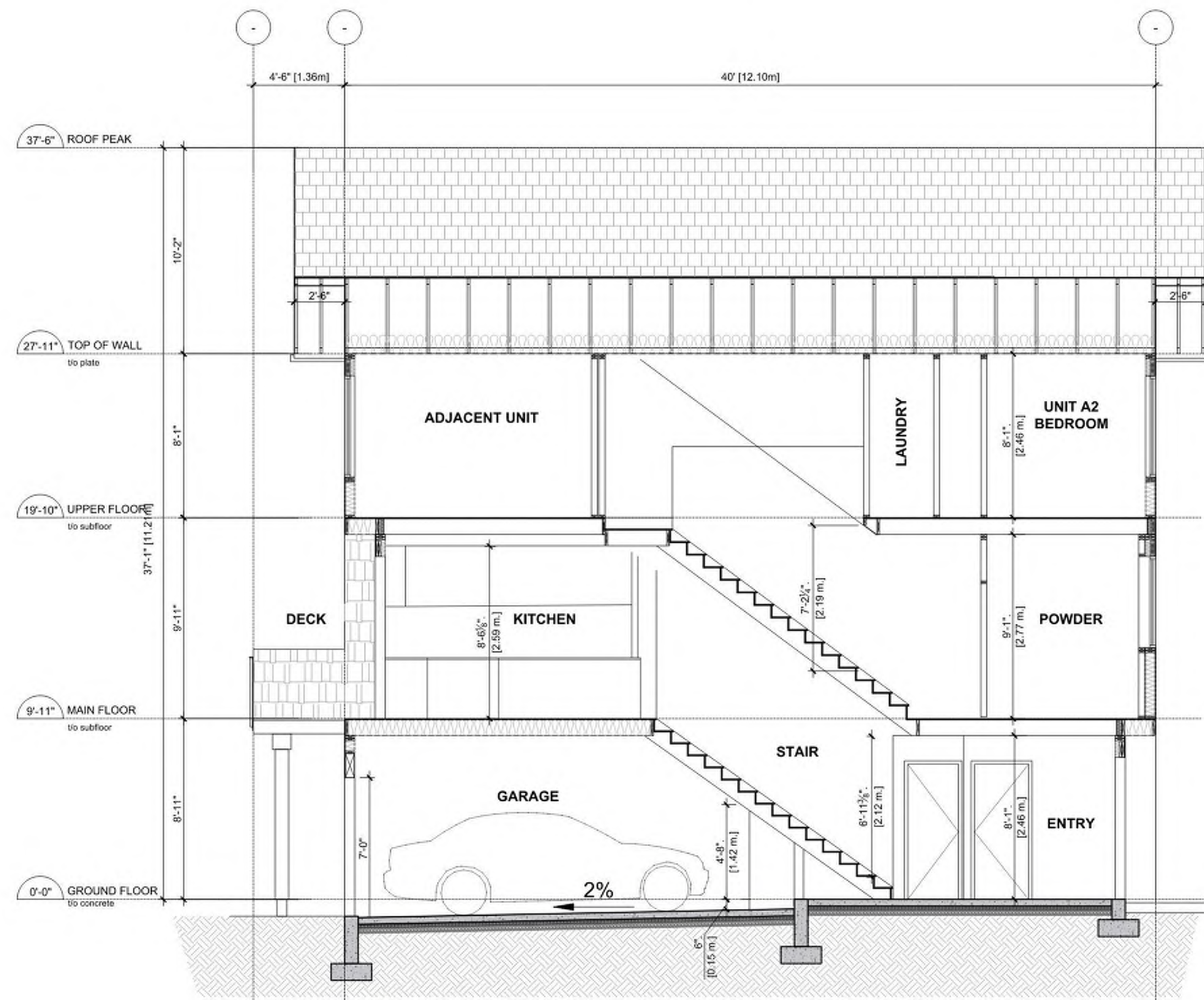
COLWOOD, BC

DRAWING TITLE

**UNIT - A1
FLOOR PLANS**

DRAWING No.

A4.01a



1 SECTION 1
A4.01b Scale: 1/4" = 1'-0"

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ABSTRACT

DEVELOPMENTS

TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

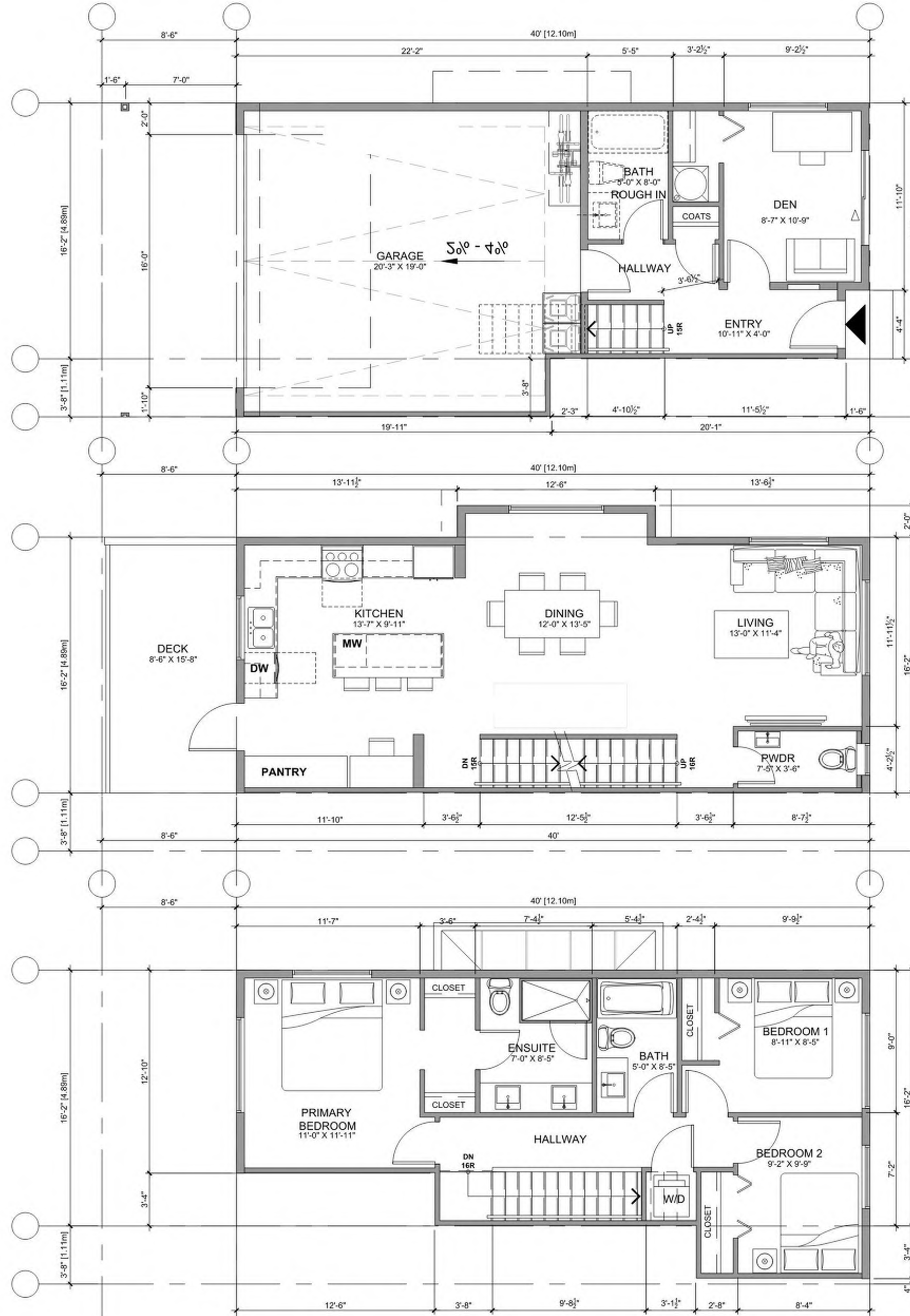
DRAWING TITLE

UNIT - A1

SECTIONS

DRAWING No.

A4.01b



1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

2 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

UNIT A1a AREAS:	S.F.	S.M.
- GROUND FLOOR	284.5	26.43
- MAIN FLOOR	672.0	62.43
- UPPER FLOOR	641.7	59.62
- AREA TOTAL (GROSS) =	1,598.18	148.48
- GARAGE	428.6	39.82
- AREA TOTAL (W/ GARAGE) =	2,026.76	188.29

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

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TRUMPETER LOT 82 - ROYAL BAY

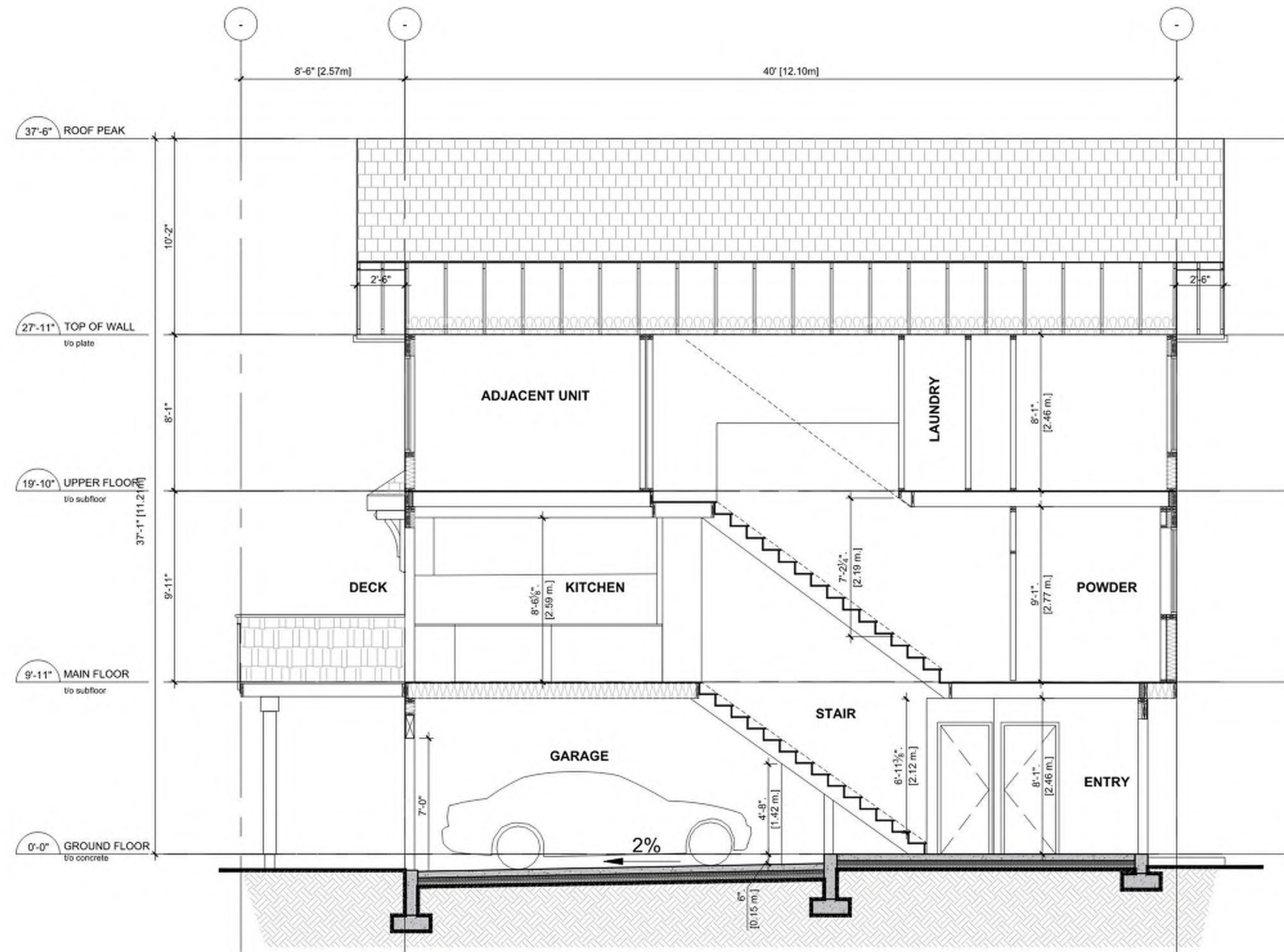
COLWOOD, BC

DRAWING TITLE

**UNIT - A1a
FLOOR PLANS**

DRAWING No.

A4.02a



1 SECTION 1
A4.02b
Scale: 1/4" = 1'-0"

STAIR CALCULATION - TYPICAL
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

REVISIONS

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2 RE-ISSUED FOR DP APPLICATION

2023-03-01

1 ISSUED FOR DP APPLICATION

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**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

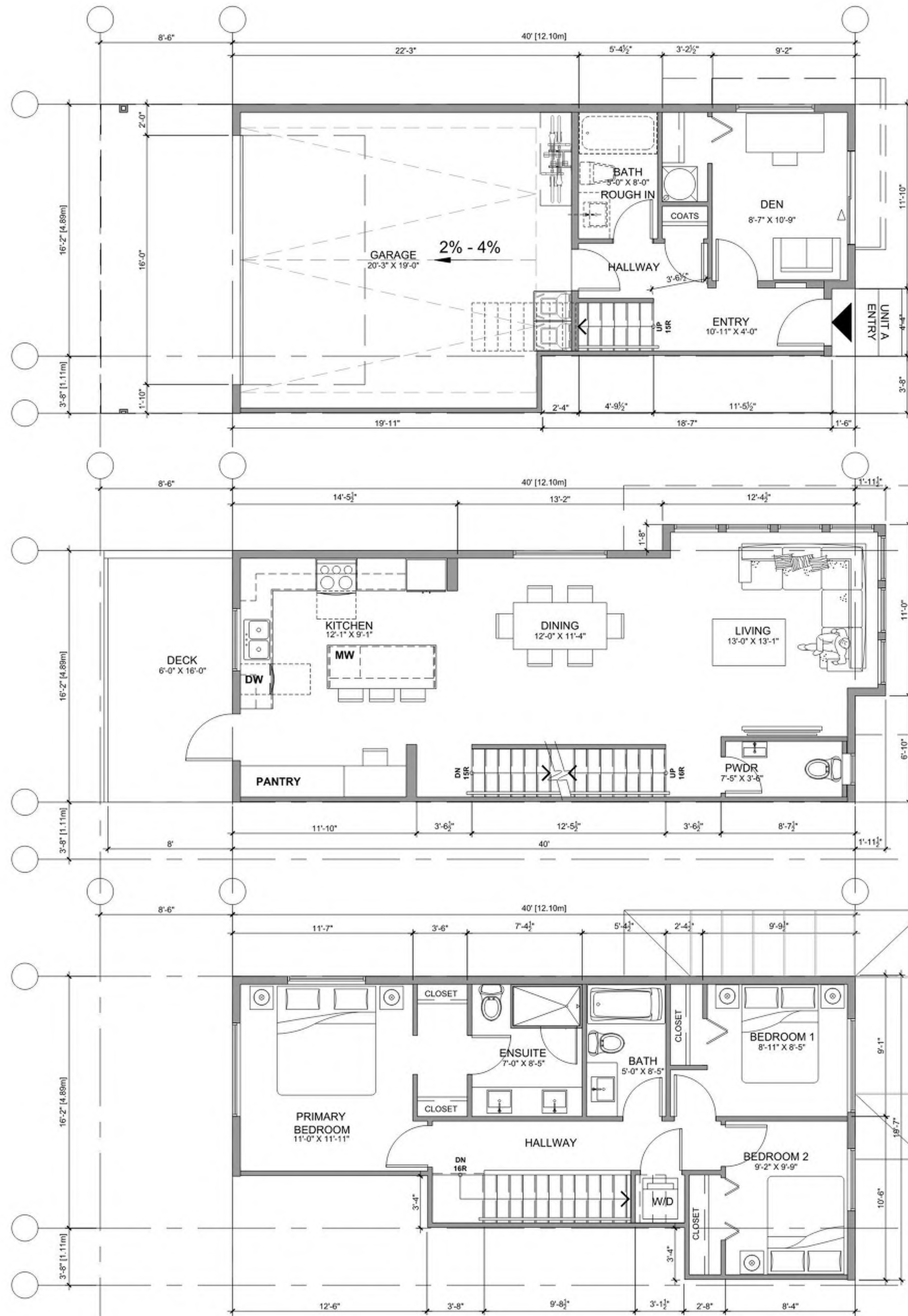
COLWOOD, BC

DRAWING TITLE

**UNIT - A1a
SECTIONS**

DRAWING No.

A4.02b



UNIT A1ae AREAS:	S.F.	S.M.
- GROUND FLOOR	284.5	26.43
- MAIN FLOOR	688.8	63.99
- UPPER FLOOR	641.7	59.62
- AREA TOTAL (GROSS) =	1,615.03	150.04
- GARAGE	428.6	39.82
- AREA TOTAL (W/ GARAGE) =	2,043.62	189.86

**STAIR CALCULATION - TYPICAL
LEVEL 1 - LEVEL 2**

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION
LEVEL 2 - LEVEL 3**

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

REVISIONS

ISSUES	DATE
8	
7	
6	
5	
4 REISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT

ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

**UNIT - A1ae
FLOOR PLANS**

DRAWING No.

A4.03a

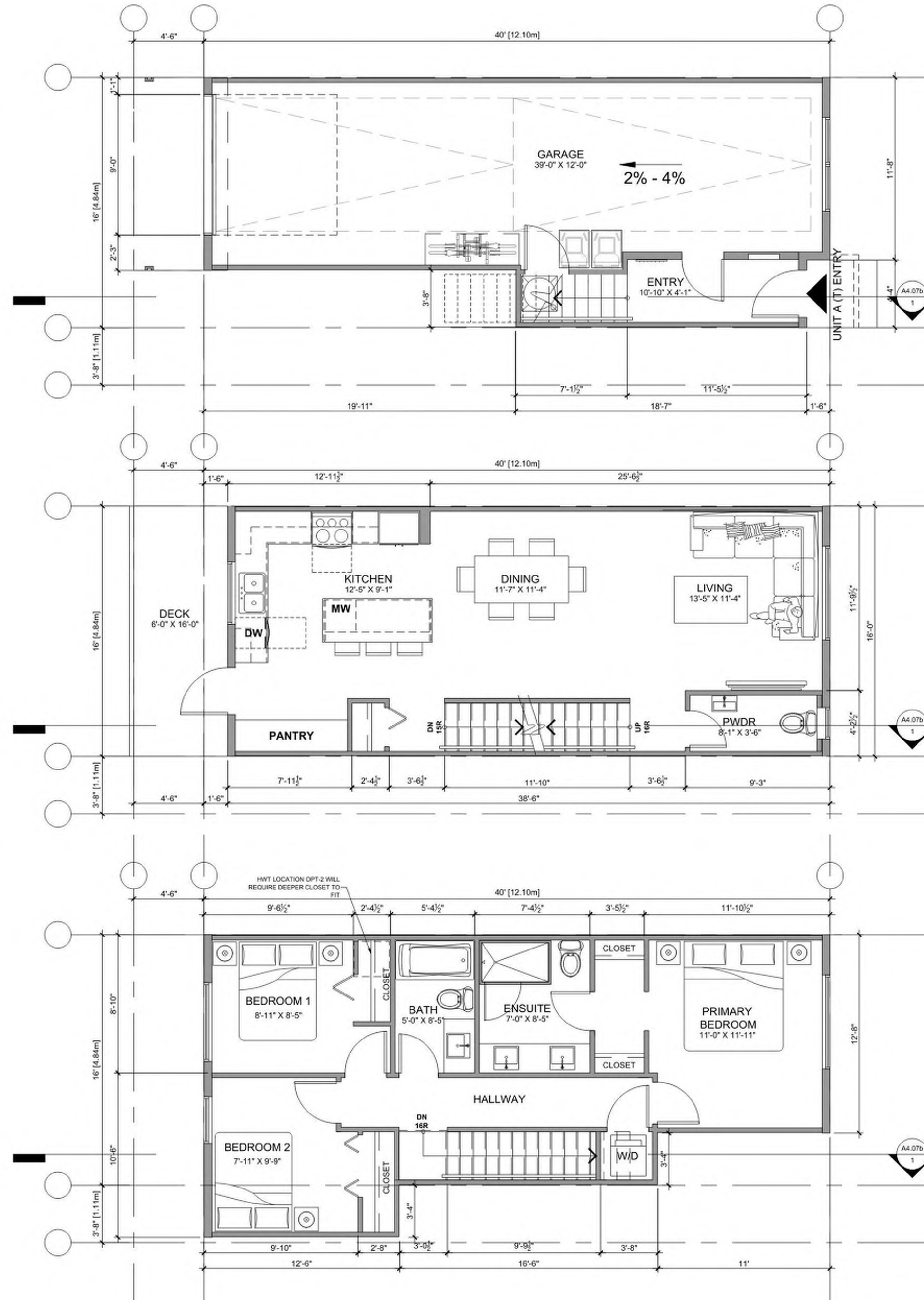


HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

COLWOOD, BC

DRAWING No.

A4.03b



1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

2 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

UNIT A2 AREAS:	S.F.	S.M.
- GROUND FLOOR	78.0	7.25
- MAIN FLOOR	616.0	57.23
- UPPER FLOOR	644.4	59.87
- AREA TOTAL (GROSS) =	1,338.44	124.35
- GARAGE	481.8	44.76
- AREA TOTAL (W/ GARAGE) =	1,820.22	169.10

**STAIR CALCULATION - TYPICAL
LEVEL 1 - LEVEL 2**

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION
LEVEL 2 - LEVEL 3**

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

REVISIONS

ISSUES	DATE
8	
7	
6	
5	
4 REISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-02
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

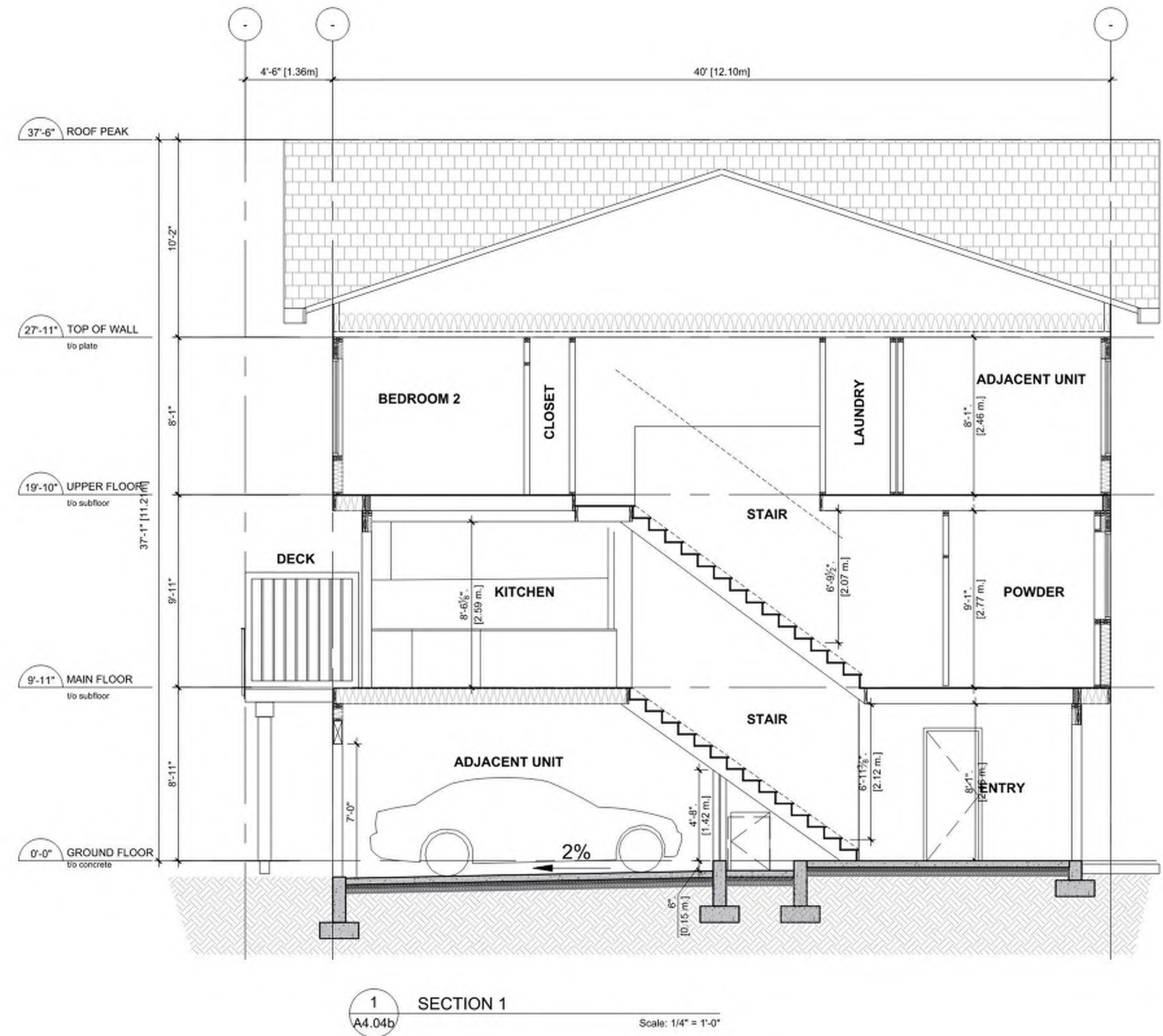
COLWOOD, BC

DRAWING TITLE

**UNIT - A2
FLOOR PLANS**

DRAWING No.

A4.04a



STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10" [3.04m]
RISE: 16 @ 7.5" [190.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 9' [2.74m]
RISE: 15 @ 7.2" [182.88mm]
RUN: 14 @ 10" [255.0mm]

REVISIONS

1

ISSUES

8

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PROJECT NUMBER DO-92

DRAWN BY HA / PM / BL

CHECKED BY RR

DATE CHECKED

CONSULTANT



PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

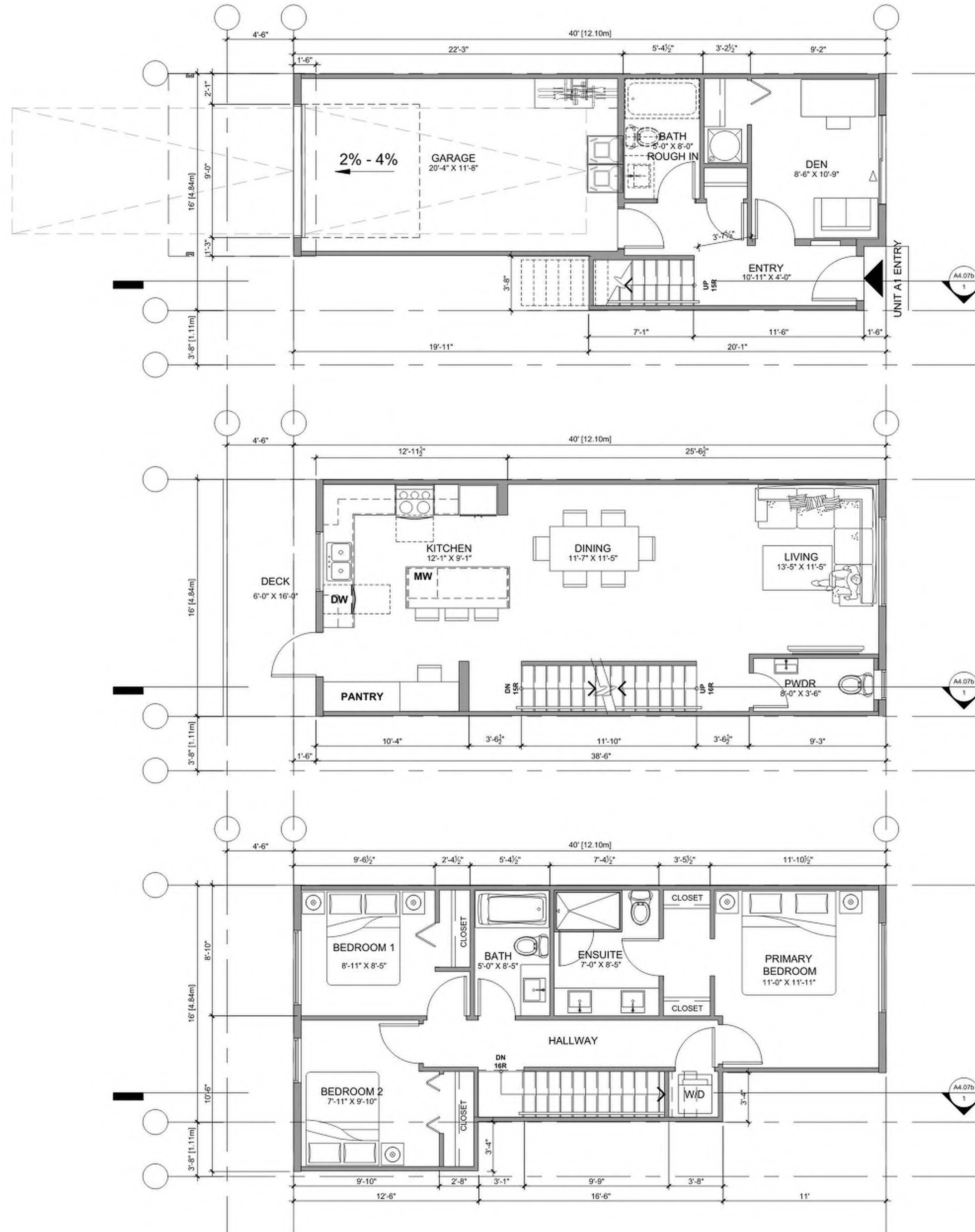
COLWOOD, BC

DRAWING TITLE

**UNIT - A2
SECTIONS**

DRAWING No.

A4.04b



UNIT A3 AREAS:	S.F.	S.M.
- GROUND FLOOR	287.8	26.74
- MAIN FLOOR	616.0	57.23
- UPPER FLOOR	645.0	59.92
- AREA TOTAL (GROSS) =	1,548.80	143.89
- GARAGE	272.6	25.33
- AREA TOTAL (W/ GARAGE) =	1,821.40	169.21

**STAIR CALCULATION - TYPICAL
LEVEL 1 - LEVEL 2**

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

**STAIR CALCULATION
LEVEL 2 - LEVEL 3**

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

2 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

REVISIONS

ISSUES	DATE
8	
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4 REISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-02
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



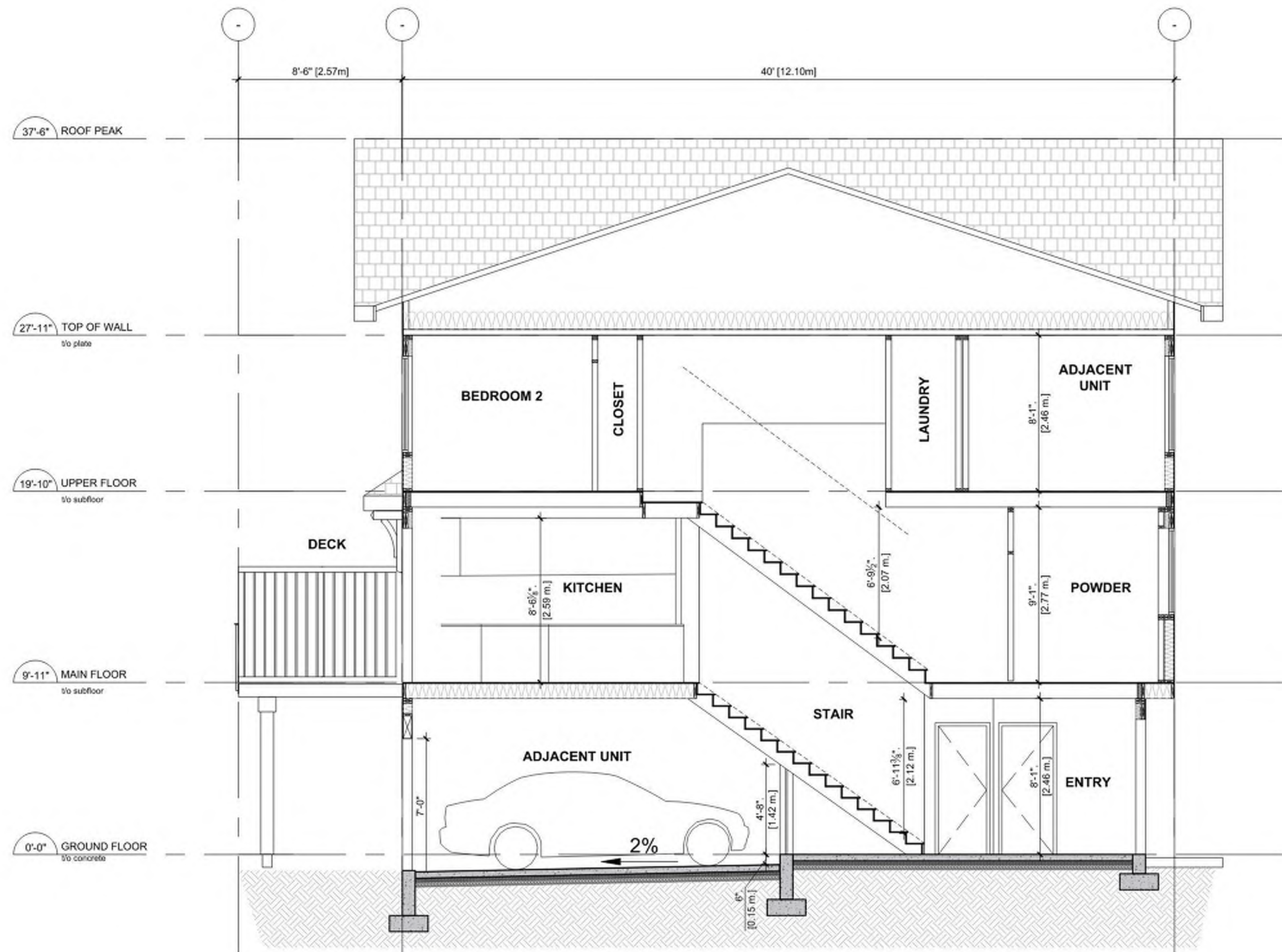
PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE
**UNIT - A3
FLOOR PLANS**

DRAWING No.

A4.05a



1 SECTION 1
A4.05b Scale: 1/4" = 1'-0"

STAIR CALCULATION - TYPICAL
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

REVISIONS

ISSUES	DATE
8	
7	
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5	
4 REISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-02
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	

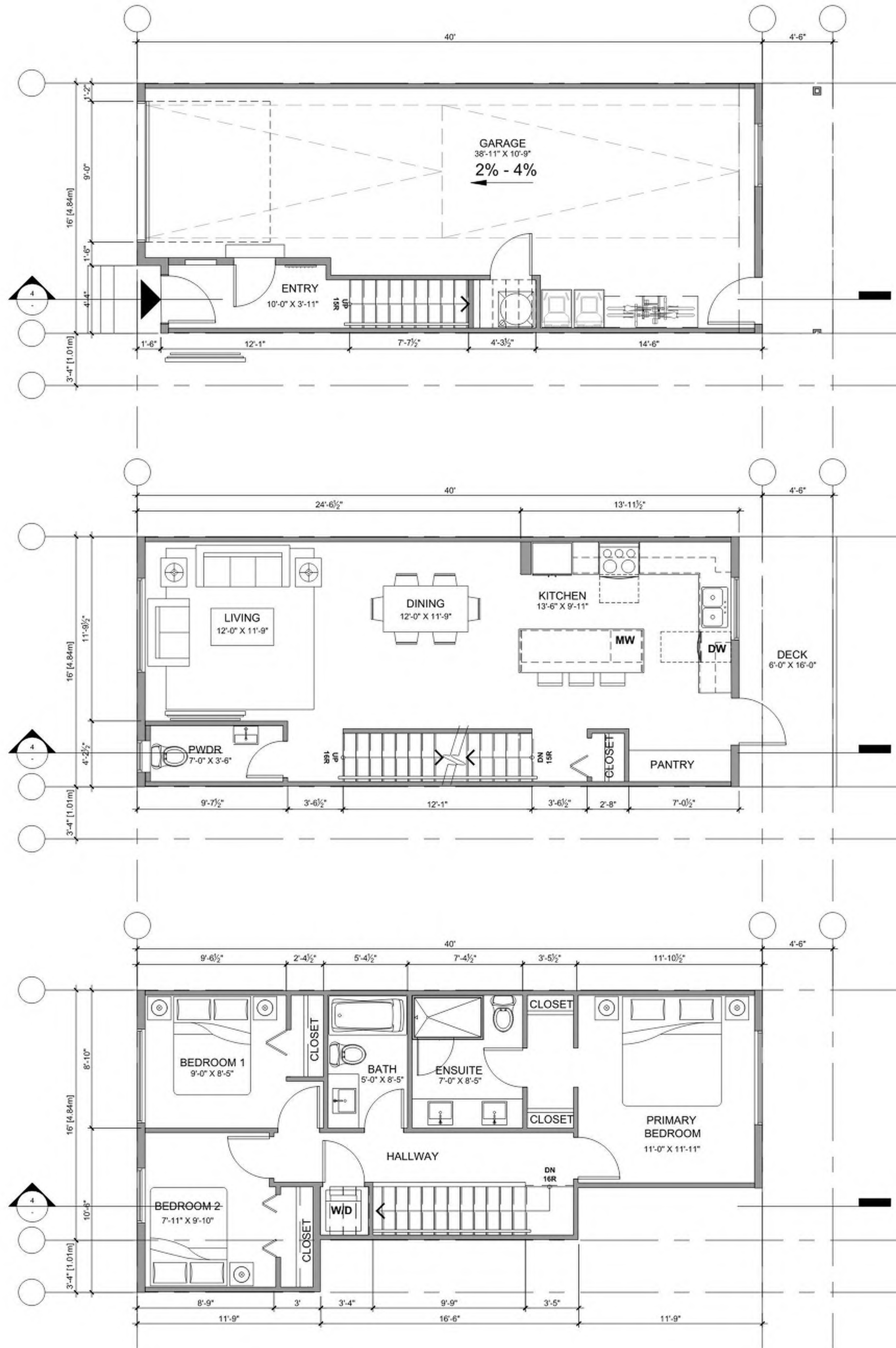


PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC

DRAWING TITLE
UNIT - A3 SECTIONS

DRAWING No.

A4.05b



UNIT B AREAS:	S.F.	S.M.
- GROUND FLOOR	97.1	9.02
- MAIN FLOOR	616.0	57.23
- UPPER FLOOR	640.0	59.46
- AREA TOTAL (GROSS) =	1,353.14	125.71
- GARAGE	536.4	49.83
- AREA TOTAL (W/ GARAGE) =	1,889.52	175.54

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

2 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

REVISIONS

ISSUES	DATE
8	
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4 REISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER DO-92

DRAWN BY HA / PM / BL

CHECKED BY RR

DATE CHECKED

CONSULTANT



PROJECT

ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

**UNIT - B
FLOOR PLANS**

DRAWING No.

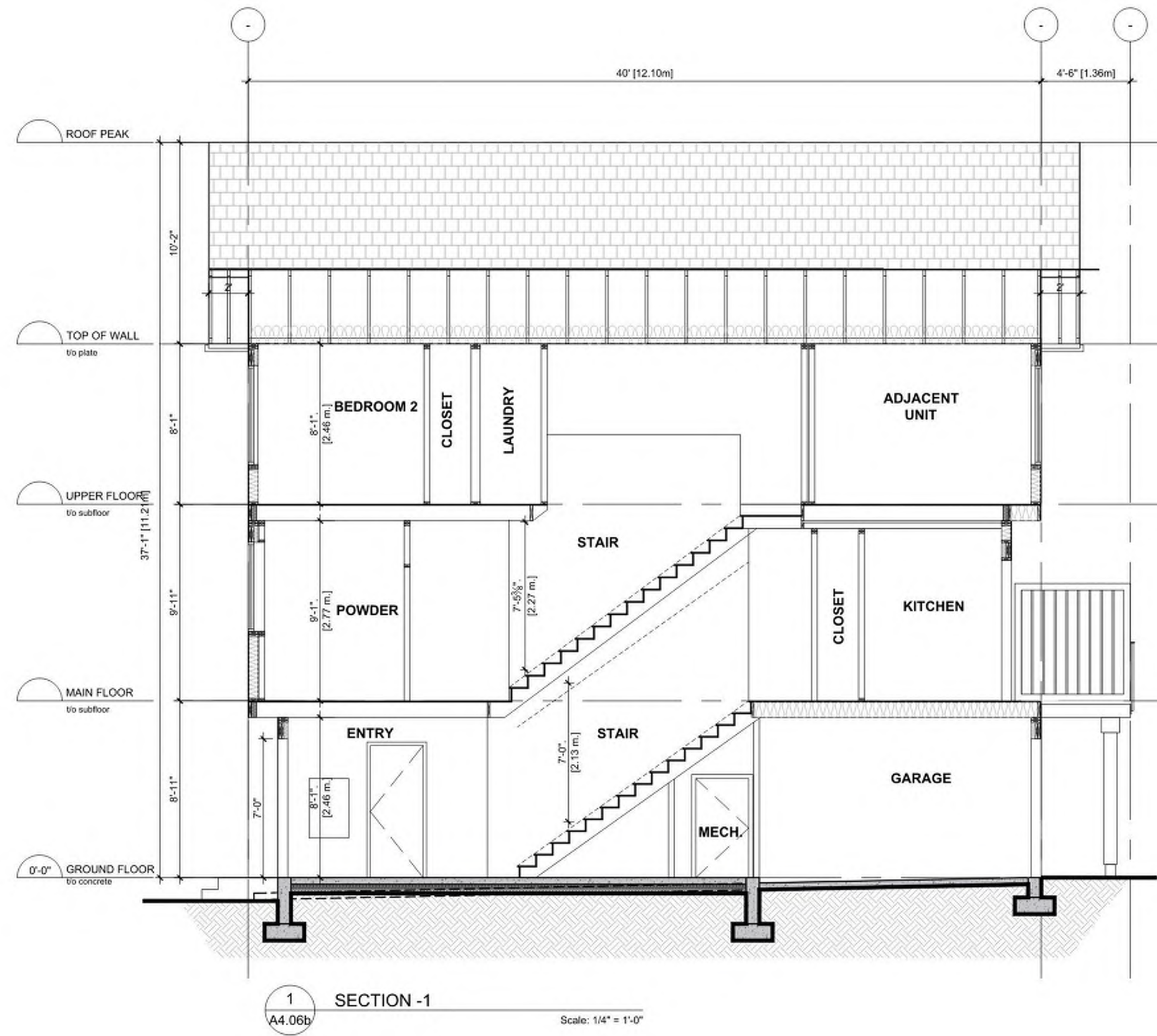
A4.06a

**STAIR CALCULATION
LEVEL 2 - LEVEL 3**

HEIGHT: 10' [3.04m]
RISE: 16 @ 7.5" [190.5mm]
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION
LEVEL 1 - LEVEL 2**

HEIGHT: 9' [2.74m]
RISE: 15 @ 7.2" [182.88mm]
RUN: 14 @ 10" [255.0mm]



REVISIONS

1

ISSUES

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4 REISSUED FOR DP APPLICATION 2023-06-20

3 RE-ISSUED FOR DP APPLICATION 2023-05-24

2 RE-ISSUED FOR DP APPLICATION 2023-03-01

1 ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER DD-02

DRAWN BY HA / PM / BL

CHECKED BY RR

DATE CHECKED

CONSULTANT



PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

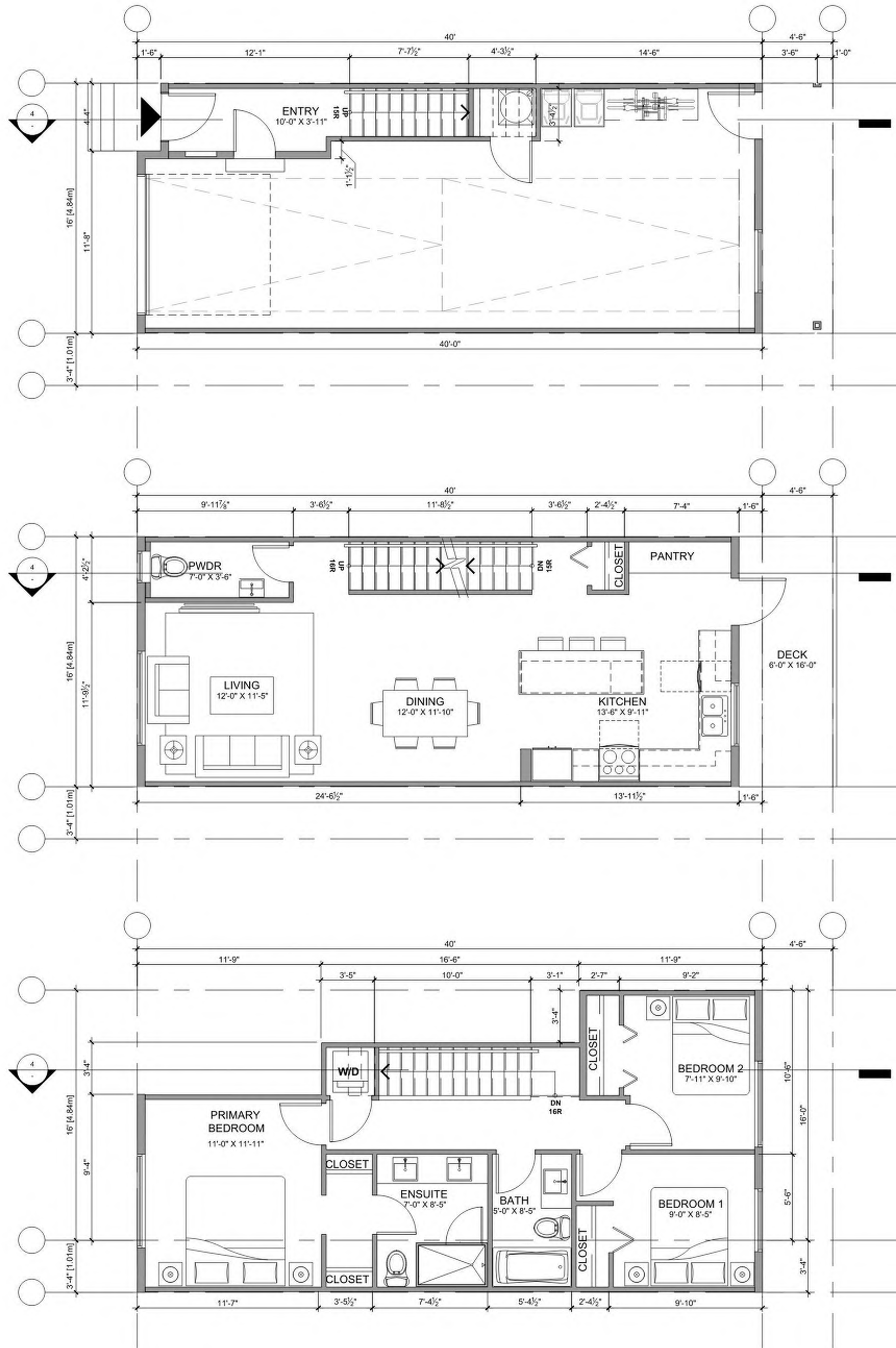
COLWOOD, BC

DRAWING TITLE

**UNIT - B
SECTIONS**

DRAWING No.

A4.06b



1 GROUND FLOOR PLAN
A4.07a Scale: 1/4" = 1'-0"

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

2 MAIN FLOOR PLAN
A4.07a Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN
A4.07a Scale: 1/4" = 1'-0"

REVISIONS

ISSUES	DATE
8	
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4 REISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
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DATE CHECKED	
CONSULTANT	



PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE
**UNIT - Ba
FLOOR PLANS**

DRAWING No.

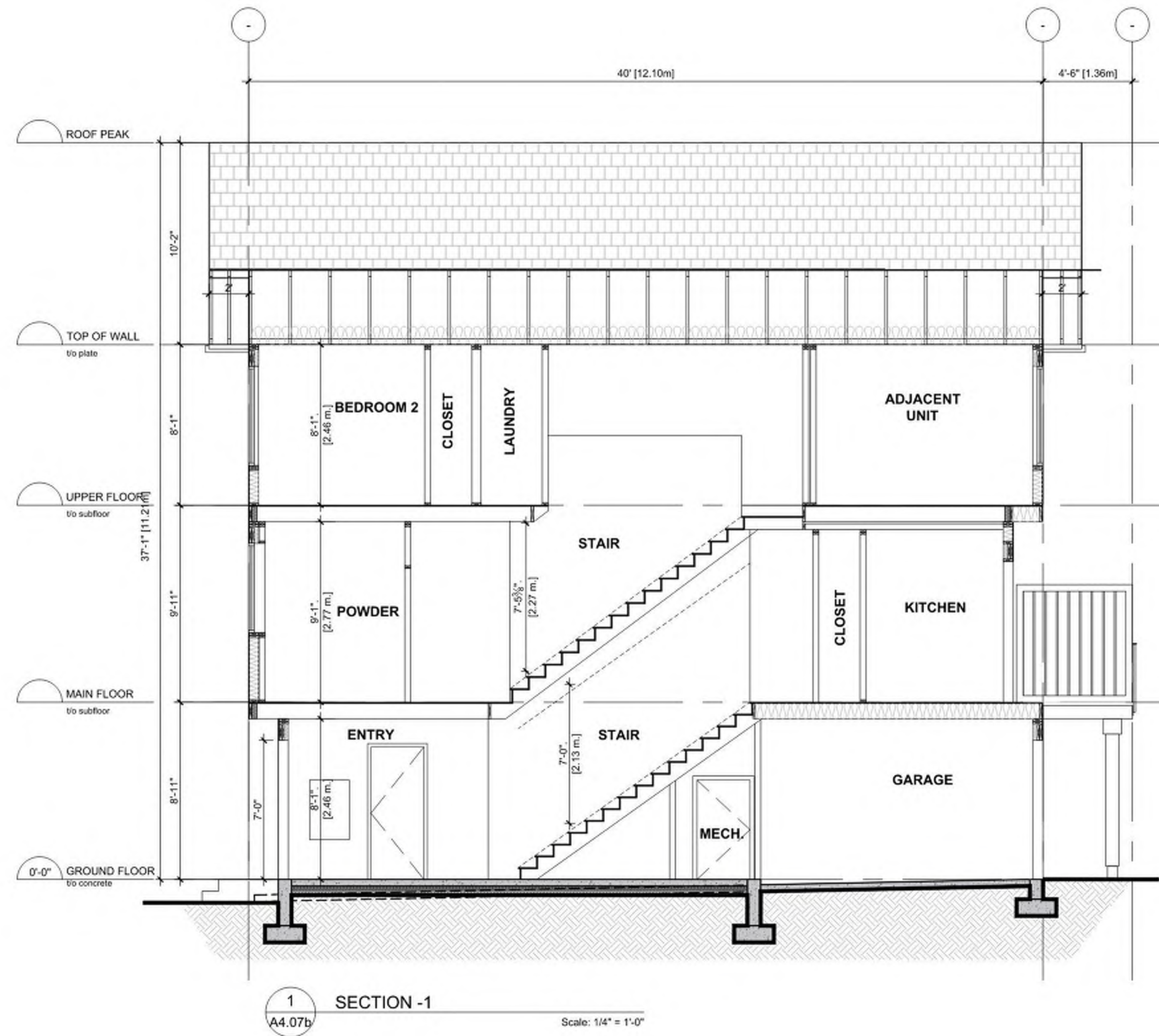
A4.07a

**STAIR CALCULATION
LEVEL 2 - LEVEL 3**

HEIGHT: 10' [3.04m]
RISE: 16 @ 7.5" [190.5mm]
RUN: 15 @ 10" [255.0mm]

**STAIR CALCULATION
LEVEL 1 - LEVEL 2**

HEIGHT: 9' [2.74m]
RISE: 15 @ 7.2" [182.88mm]
RUN: 14 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
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5	
4	REISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER	DD-02
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT
**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

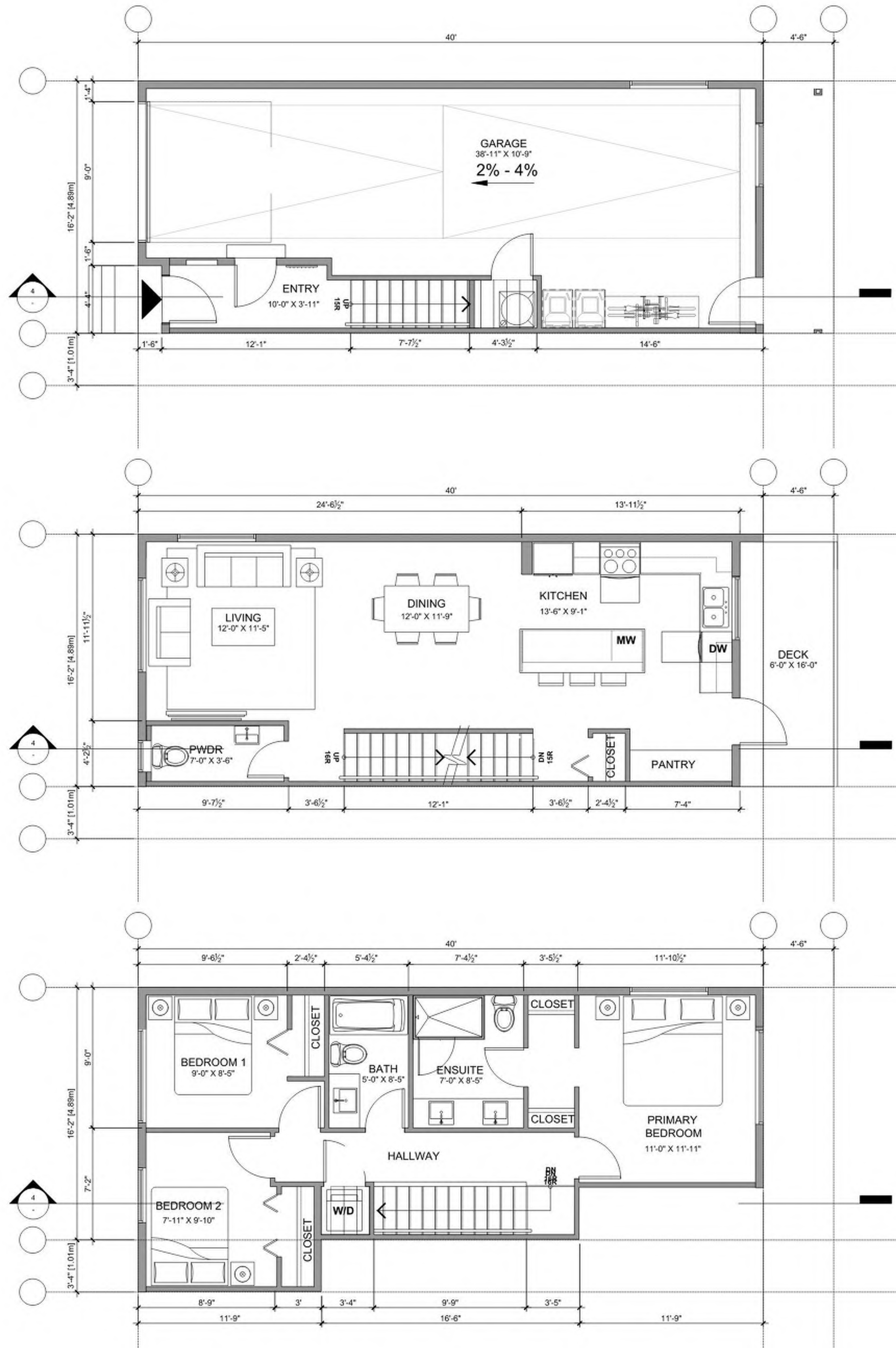
COLWOOD, BC

DRAWING TITLE

**UNIT - Ba
SECTIONS**

DRAWING No.

A4.07b



UNIT Be AREAS:	S.F.	S.M.
- GROUND FLOOR	97.1	9.02
- MAIN FLOOR	622.1	57.80
- UPPER FLOOR	646.3	60.04
- AREA TOTAL (GROSS) =	1,365.52	126.86
- GARAGE	542.9	50.44
- AREA TOTAL (W/ GARAGE) =	1,908.42	177.30

STAIR CALCULATION - TYPICAL
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

2 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

REVISIONS

ISSUES	DATE
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

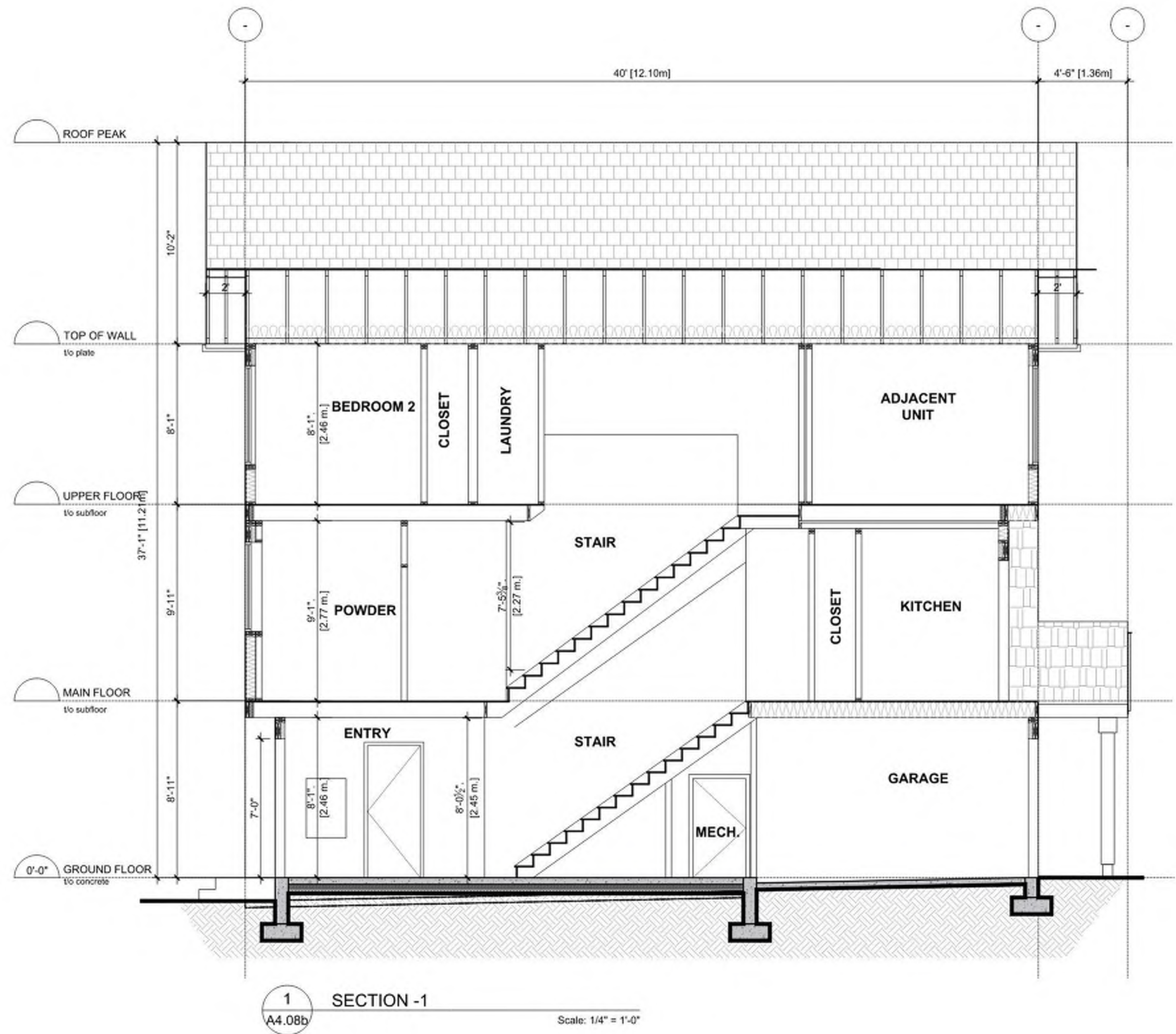
COLWOOD, BC

DRAWING TITLE

**UNIT - Be
FLOOR PLANS**

DRAWING No.

A4.08a



STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10" [3.04m]
RISE: 16 @ 7.5" [190.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 9' [2.74m]
RISE: 15 @ 7.2" [182.88mm]
RUN: 14 @ 10" [255.0mm]

REVISIONS

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REISSUED FOR DP APPLICATION

RE-ISSUED FOR DP APPLICATION

RE-ISSUED FOR DP APPLICATION

ISSUED FOR DP APPLICATION

PROJECT NUMBER

DRAWN BY

CHECKED BY

DATE CHECKED

CONSULTANT

PROJECT

ABSTRACT

DEVELOPMENTS

TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

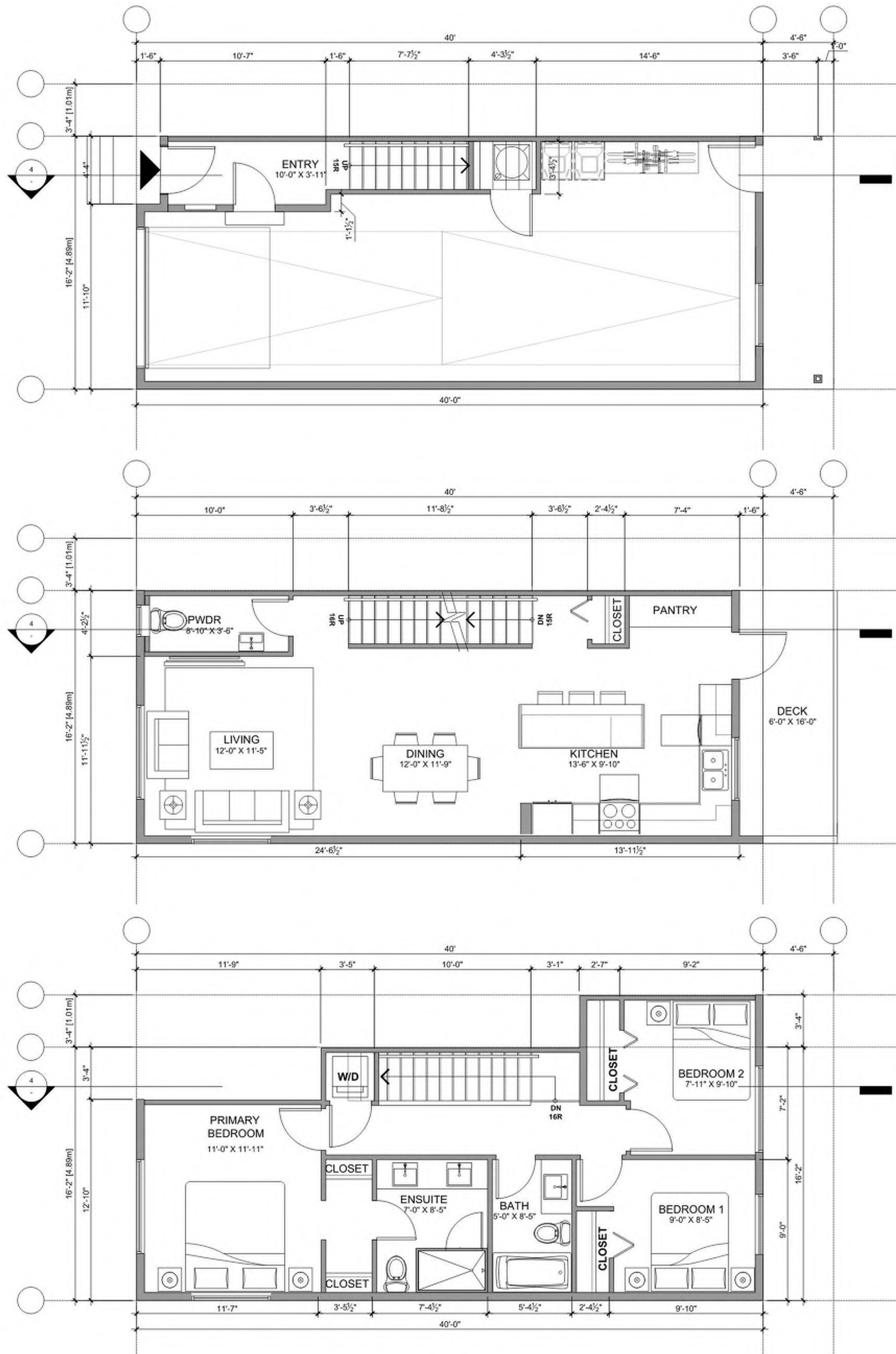
DRAWING TITLE

UNIT - Be

SECTIONS

DRAWING No.

A4.08b



UNIT Bae AREAS:	S.F.	S.M.
- GROUND FLOOR	97.1	9.02
- MAIN FLOOR	622.3	57.82
- UPPER FLOOR	646.7	60.08
- AREA TOTAL (GROSS) =	1,366.13	126.92
- GARAGE	543.0	50.45
- AREA TOTAL (W/ GARAGE) =	1,909.17	177.37

1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2	
HEIGHT:	8'-11" [3.00m]
RISE:	15 @ 7 1/4" [187.5mm]
RUN:	14 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3	
HEIGHT:	9'-11" [3.00m]
RISE:	16 @ 7 1/4" [187.5mm]
RUN:	15 @ 10" [255.0mm]

2 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

REVISIONS	
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ISSUES	
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5	
4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION
DATE	
2023-06-20	
2023-05-24	
2023-03-01	
2022-10-17	

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	

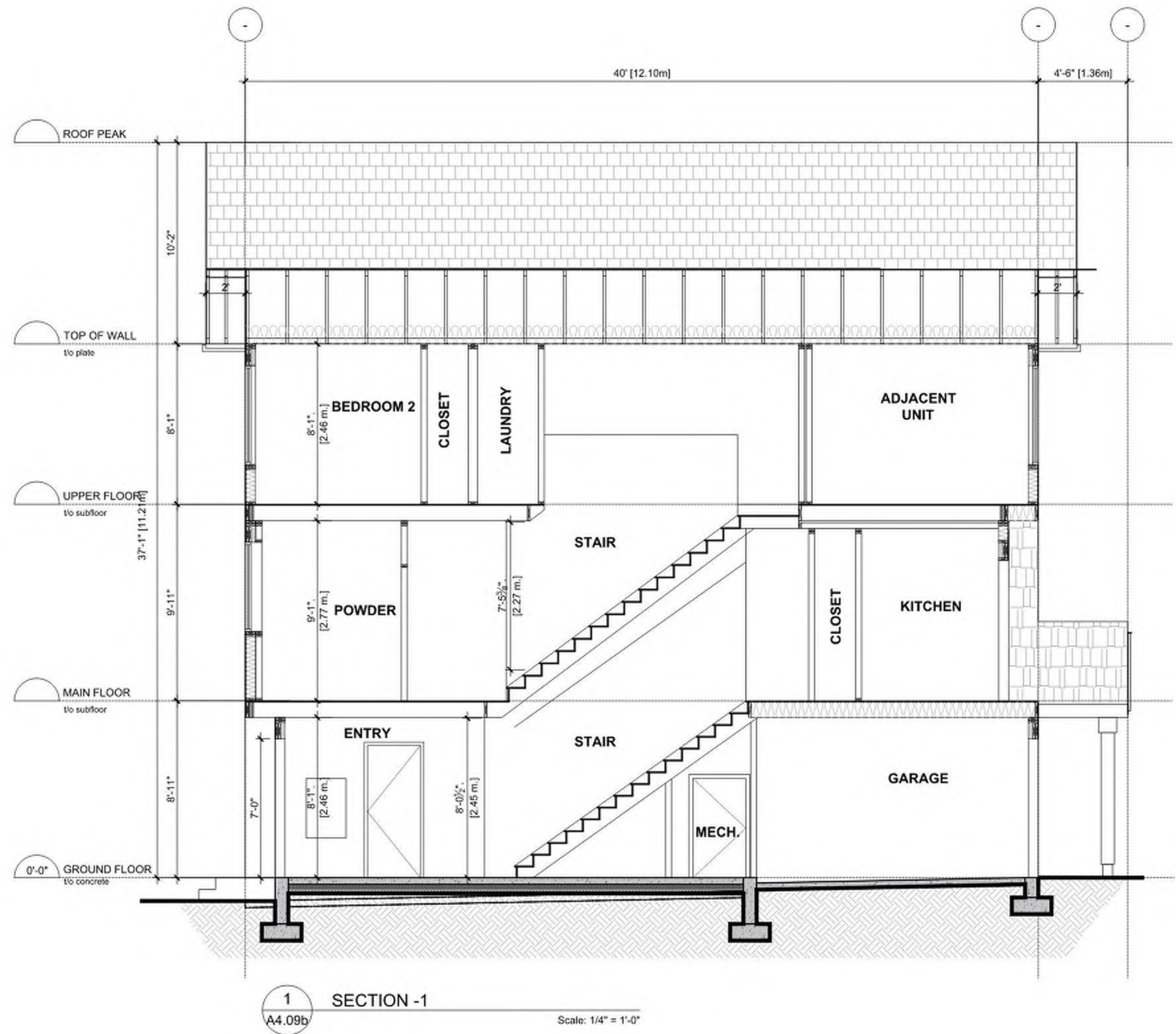


PROJECT	ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY COLWOOD, BC
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DRAWING TITLE	UNIT - Bae FLOOR PLANS
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DRAWING No.

A4.09a



STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10" [3.04m]
RISE: 16 @ 7.5" [190.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 9' [2.74m]
RISE: 15 @ 7.2" [182.88mm]
RUN: 14 @ 10" [255.0mm]

REVISIONS

1

ISSUES

8

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5

4 REISSUED FOR DP APPLICATION

2023-06-20

3 RE-ISSUED FOR DP APPLICATION

2023-05-24

2 RE-ISSUED FOR DP APPLICATION

2023-03-01

1 ISSUED FOR DP APPLICATION

2022-10-17

PROJECT NUMBER DO-92

DRAWN BY HA / PM / BL

CHECKED BY RR

DATE CHECKED

CONSULTANT



PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

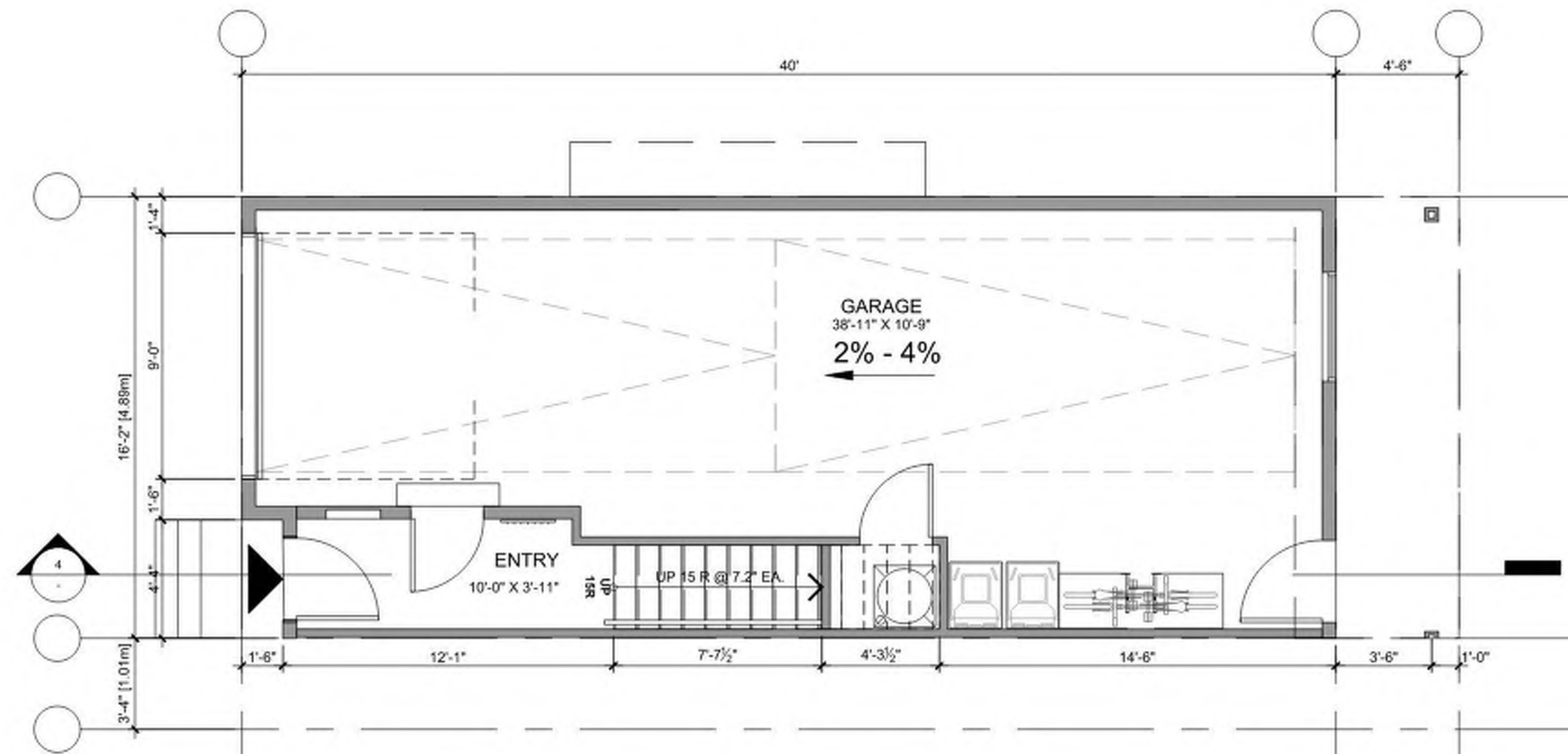
DRAWING TITLE

**UNIT - Bae
SECTIONS**

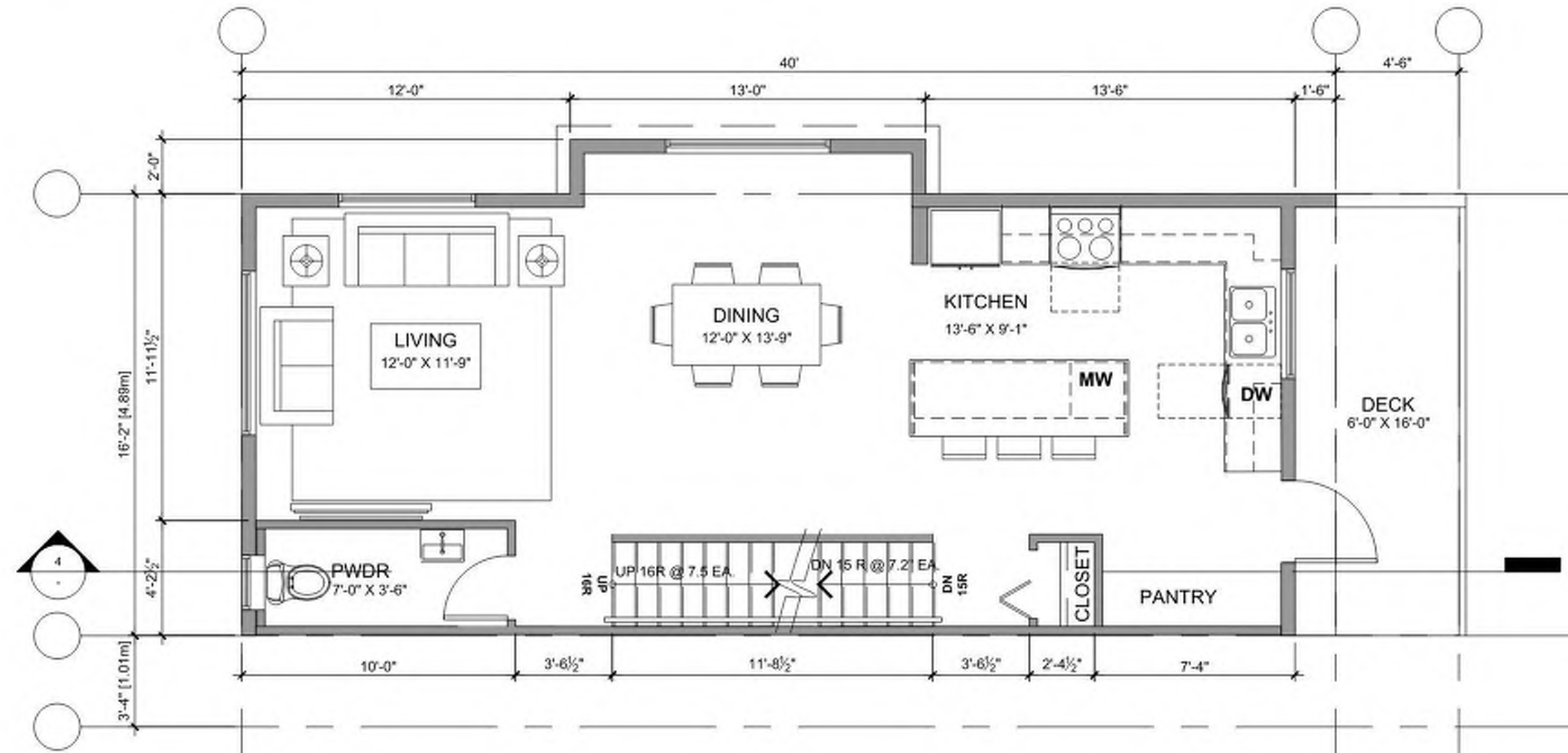
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A4.09b

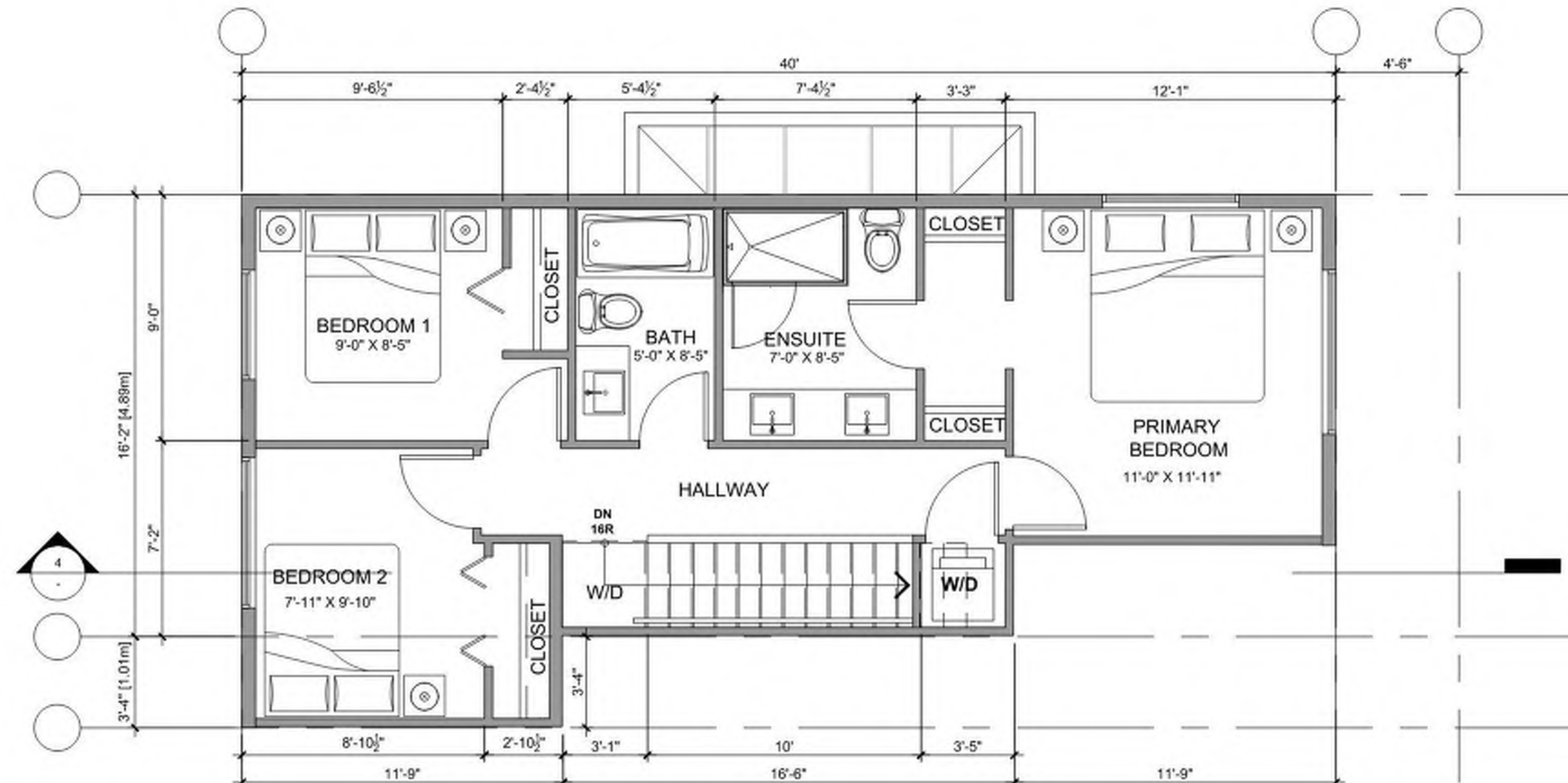
UNIT Bc AREAS:	S.F.	S.M.
- GROUND FLOOR	97.1	9.02
- MAIN FLOOR	648.0	60.21
- UPPER FLOOR	646.3	60.04
- AREA TOTAL (GROSS) =	1,391.43	129.27
- GARAGE	542.9	50.44
- AREA TOTAL (W/ GARAGE) =	1,934.34	179.71



1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"



2 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"



3 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

REVISIONS	DATE
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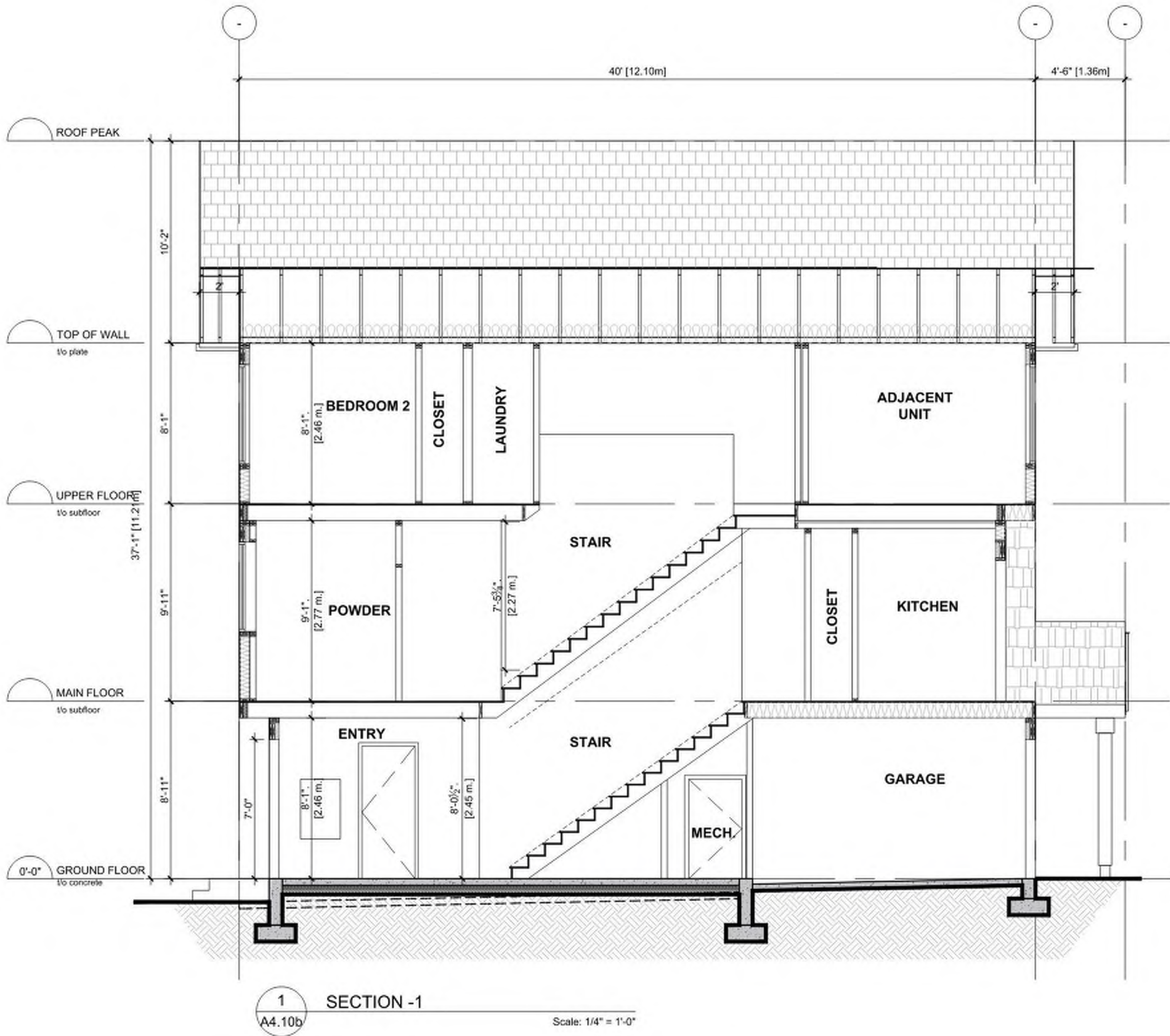
ISSUES	DATE
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT	ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY COLWOOD, BC
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DRAWING TITLE	UNIT - Bc FLOOR PLANS
DRAWING No.	



STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10" [3.04m]
RISE: 16 @ 7.5" [190.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 9' [2.74m]
RISE: 15 @ 7.2" [182.88mm]
RUN: 14 @ 10" [255.0mm]

REVISIONS	
1	
ISSUES	DATE
8	
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6	
5	
4	REISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT

ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

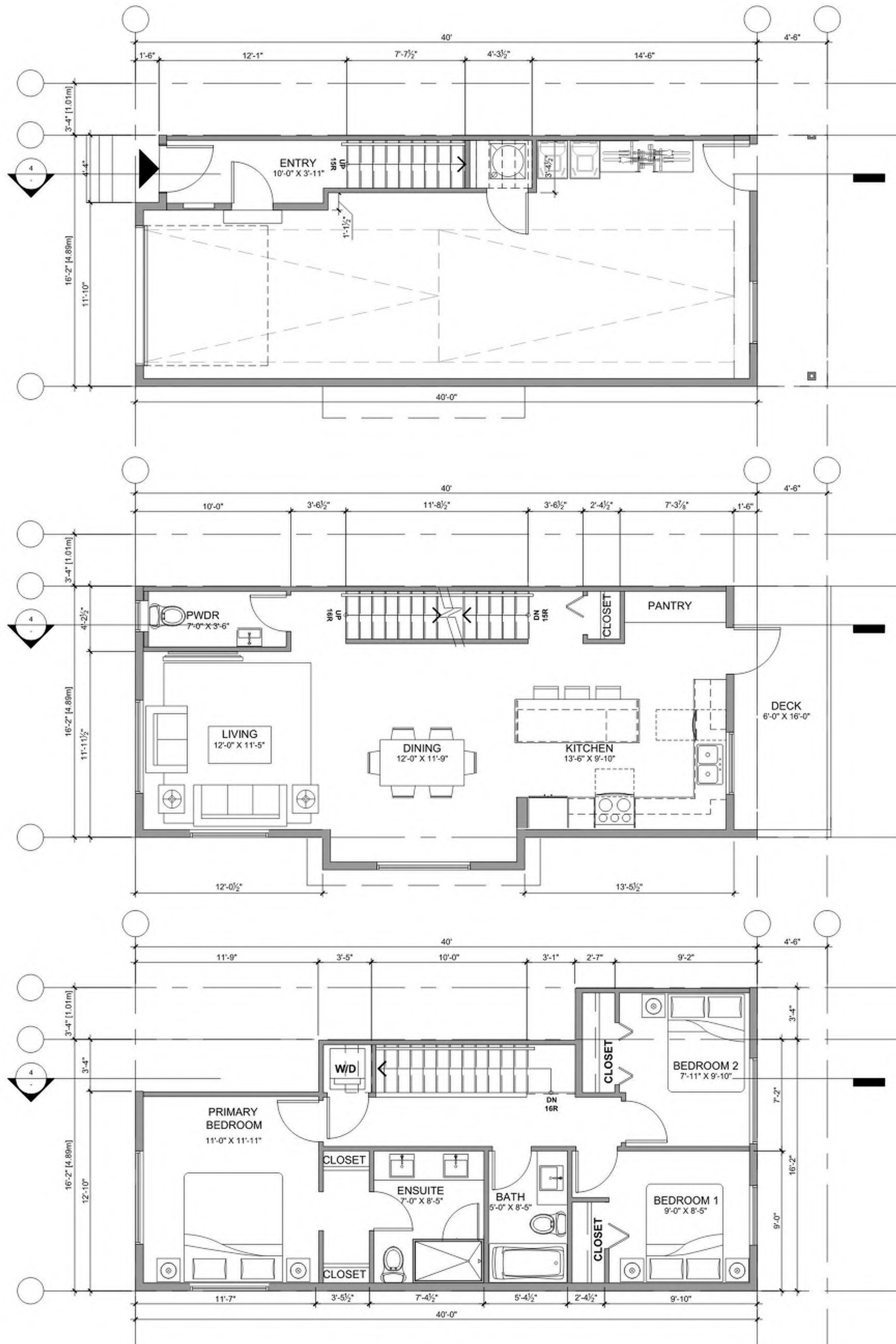
COLWOOD, BC

DRAWING TITLE

UNIT - Bc SECTIONS

DRAWING No.

A4.10b



UNIT Bce AREAS:	S.F.	S.M.
- GROUND FLOOR	97.1	9.02
- MAIN FLOOR	649.4	60.33
- UPPER FLOOR	646.7	60.08
- AREA TOTAL (GROSS) =	1,393.21	129.43
- GARAGE	543.0	50.45
- AREA TOTAL (W/ GARAGE) =	1,936.25	179.88

1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2	
HEIGHT:	8'-11" [3.00m]
RISE:	15 @ 7 1/4" [187.5mm]
RUN:	14 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3	
HEIGHT:	9'-11" [3.00m]
RISE:	16 @ 7 1/2" [187.5mm]
RUN:	15 @ 10" [255.0mm]

2 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

REVISIONS	
1	
ISSUES	
8	DATE
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4	REISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

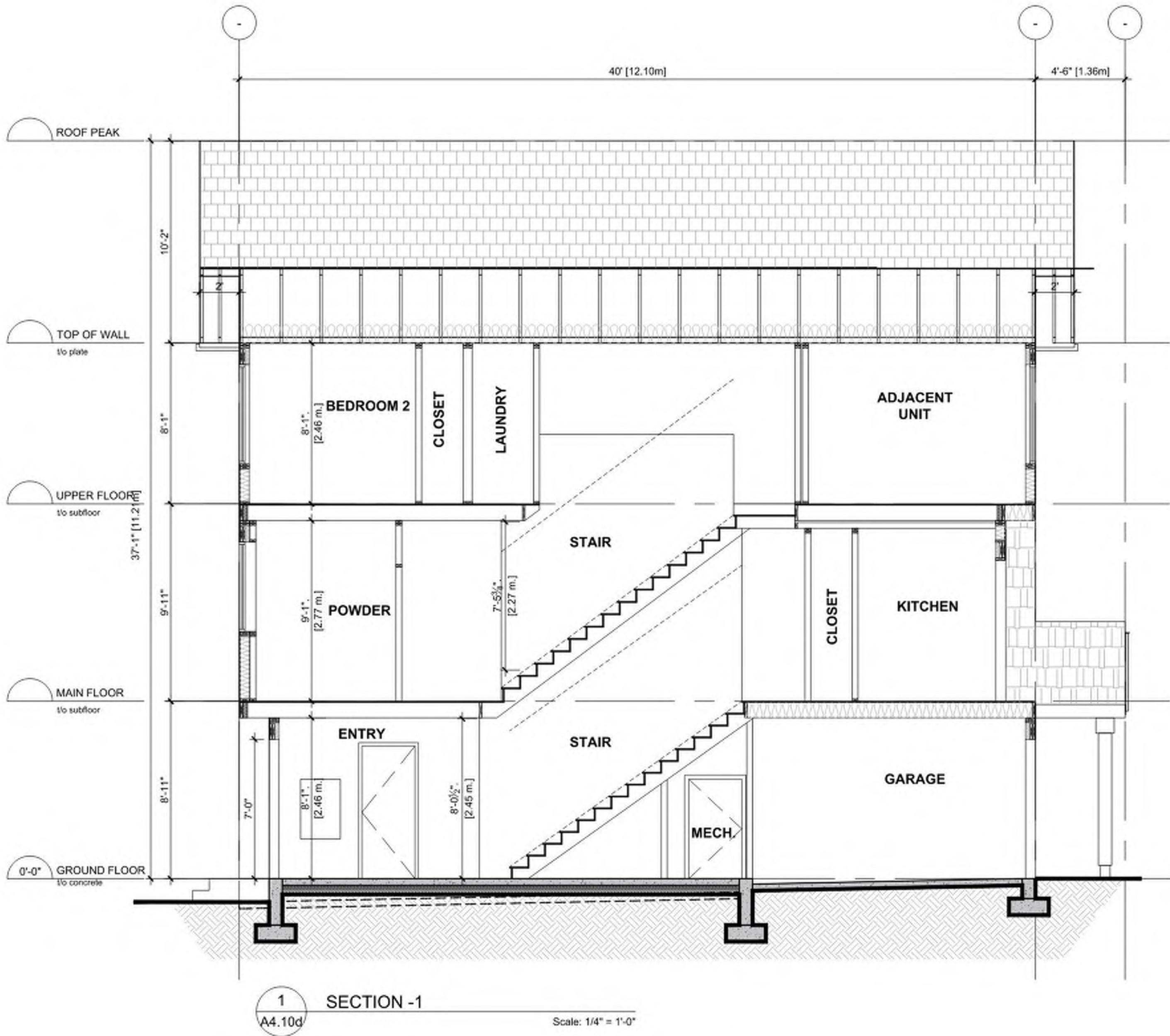
PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT	ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY COLWOOD, BC
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DRAWING TITLE	UNIT - Bce FLOOR PLANS
---------------	------------------------

DRAWING No.



STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10" [3.04m]
RISE: 16 @ 7.5" [190.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 9' [2.74m]
RISE: 15 @ 7.2" [182.88mm]
RUN: 14 @ 10" [255.0mm]

REVISIONS	
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ISSUES	DATE
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4	REISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT

ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

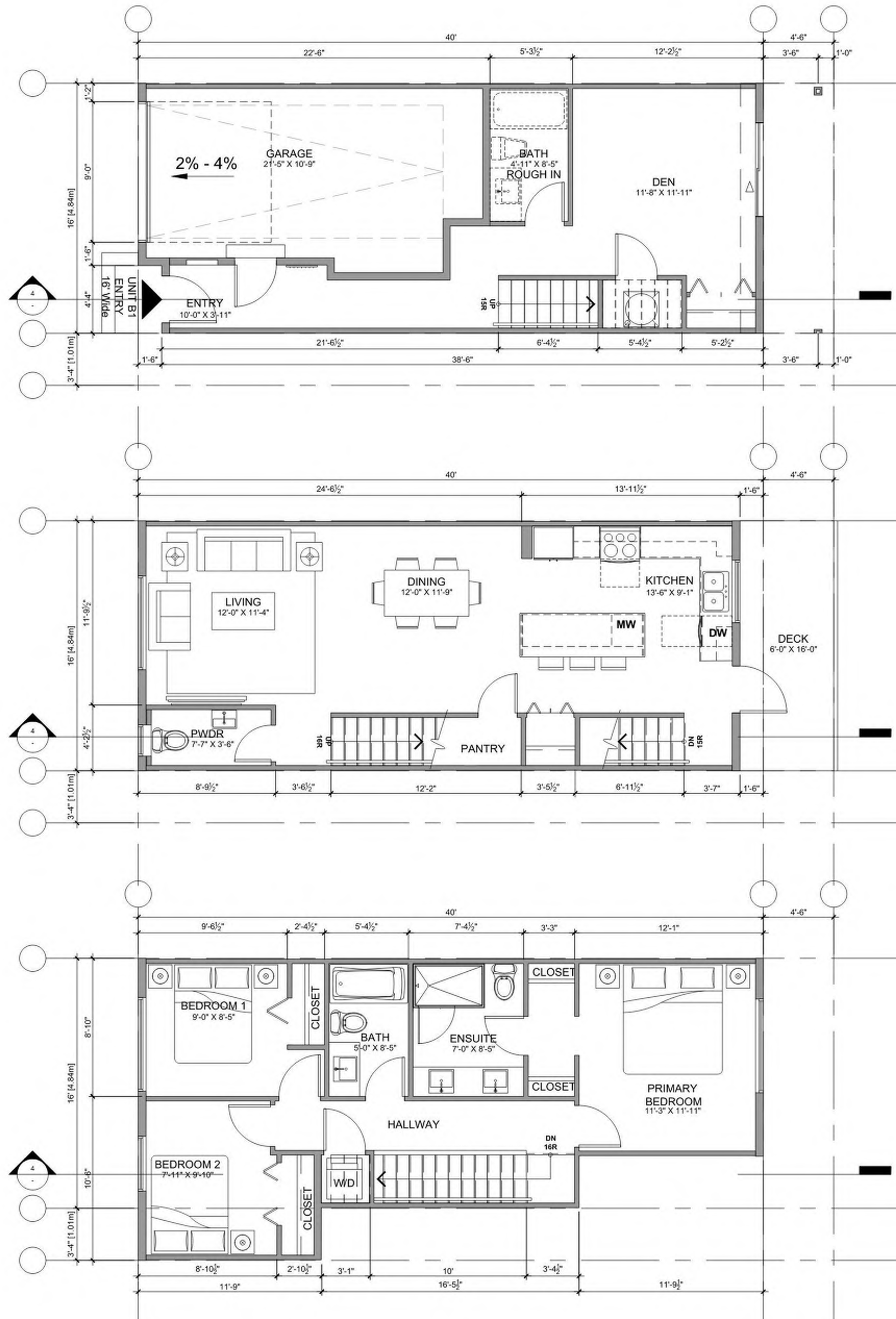
COLWOOD, BC

DRAWING TITLE

UNIT - Bce SECTIONS

DRAWING No.

A4.10d



UNIT B1 AREAS:	S.F.	S.M.
- GROUND FLOOR	386.3	35.89
- MAIN FLOOR	616.0	57.23
- UPPER FLOOR	640.0	59.46
- AREA TOTAL (GROSS) =	1,642.28	152.57
- GARAGE	247.2	22.97
- AREA TOTAL (W/ GARAGE) =	1,889.50	175.54

1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2	
HEIGHT:	8'-11" [3.00m]
RISE:	15 @ 7 1/4" [187.5mm]
RUN:	14 @ 10" [255.0mm]

2 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

STAIR CALCULATION LEVEL 2 - LEVEL 3	
HEIGHT:	9'-11" [3.00m]
RISE:	16 @ 7 1/2" [187.5mm]
RUN:	15 @ 10" [255.0mm]

3 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

REVISIONS	
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ISSUES	
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION
DATE	
2023-06-20	
2023-05-24	
2023-03-01	
2022-10-17	

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	

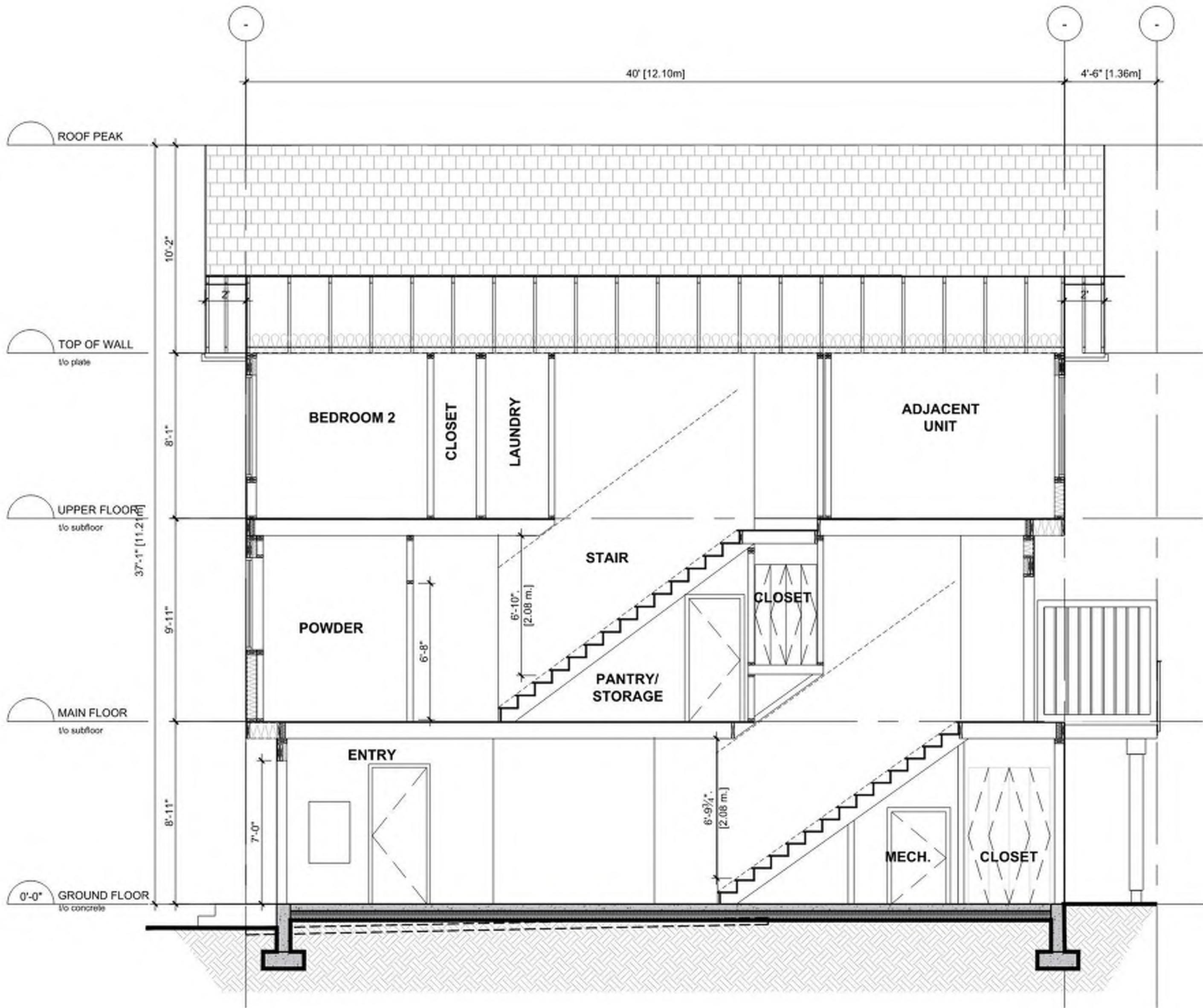


PROJECT	ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY COLWOOD, BC
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DRAWING TITLE	UNIT - B1 FLOOR PLANS
---------------	--------------------------

DRAWING No.

A4.11a



1

A4.11b

SECTION -1

Scale: 1/4" = 1'-0"

STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10" [3.04m]
RISE: 16 @ 7.5" [190.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 9' [2.74m]
RISE: 15 @ 7.2" [182.88mm]
RUN: 14 @ 10" [255.0mm]

REVISIONS

ISSUES	DATE
8	
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5	
4 REISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

UNIT - B1 SECTIONS

DRAWING No.

A4.11b

UNIT B1a AREAS:	S.F.	S.M.
- GROUND FLOOR	386.3	35.89
- MAIN FLOOR	616.0	57.23
- UPPER FLOOR	640.0	59.46
- AREA TOTAL (GROSS) =	1,642.27	152.57
- GARAGE	247.3	22.97
- AREA TOTAL (W/ GARAGE) =	1,889.54	175.54

STAIR CALCULATION - TYPICAL
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

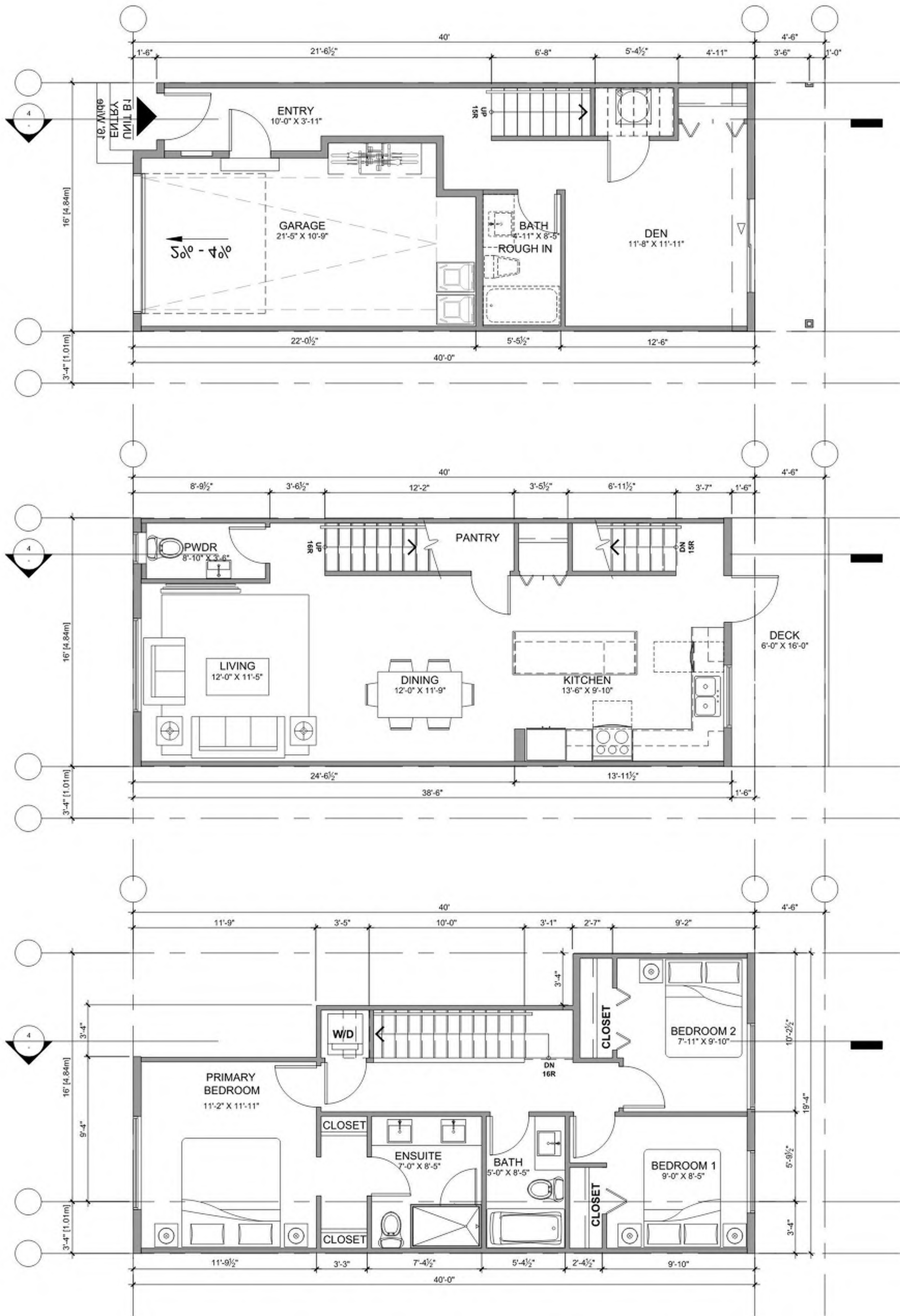
STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

2 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"



REVISIONS	
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4	REISSUED FOR DP APPLICATION
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1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
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DATE CHECKED	
CONSULTANT	

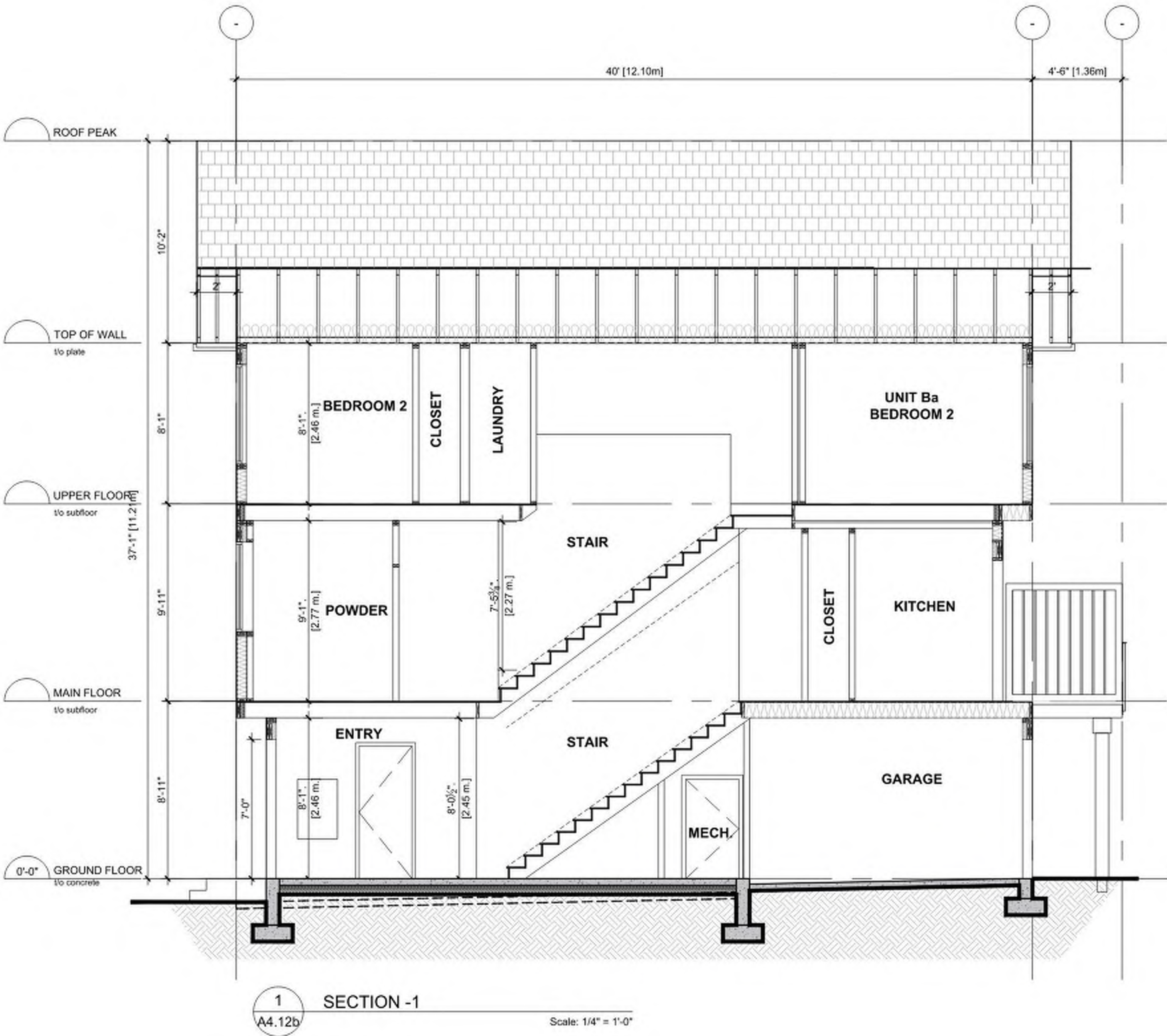


PROJECT	ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY COLWOOD, BC
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DRAWING TITLE	UNIT - B1a FLOOR PLANS
---------------	---------------------------

DRAWING No.

A4.12a



STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10" [3.04m]
RISE: 16 @ 7.5" [190.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 9' [2.74m]
RISE: 15 @ 7.2" [182.88mm]
RUN: 14 @ 10" [255.0mm]

REVISIONS	
1	
ISSUES	DATE
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4	REISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT

ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

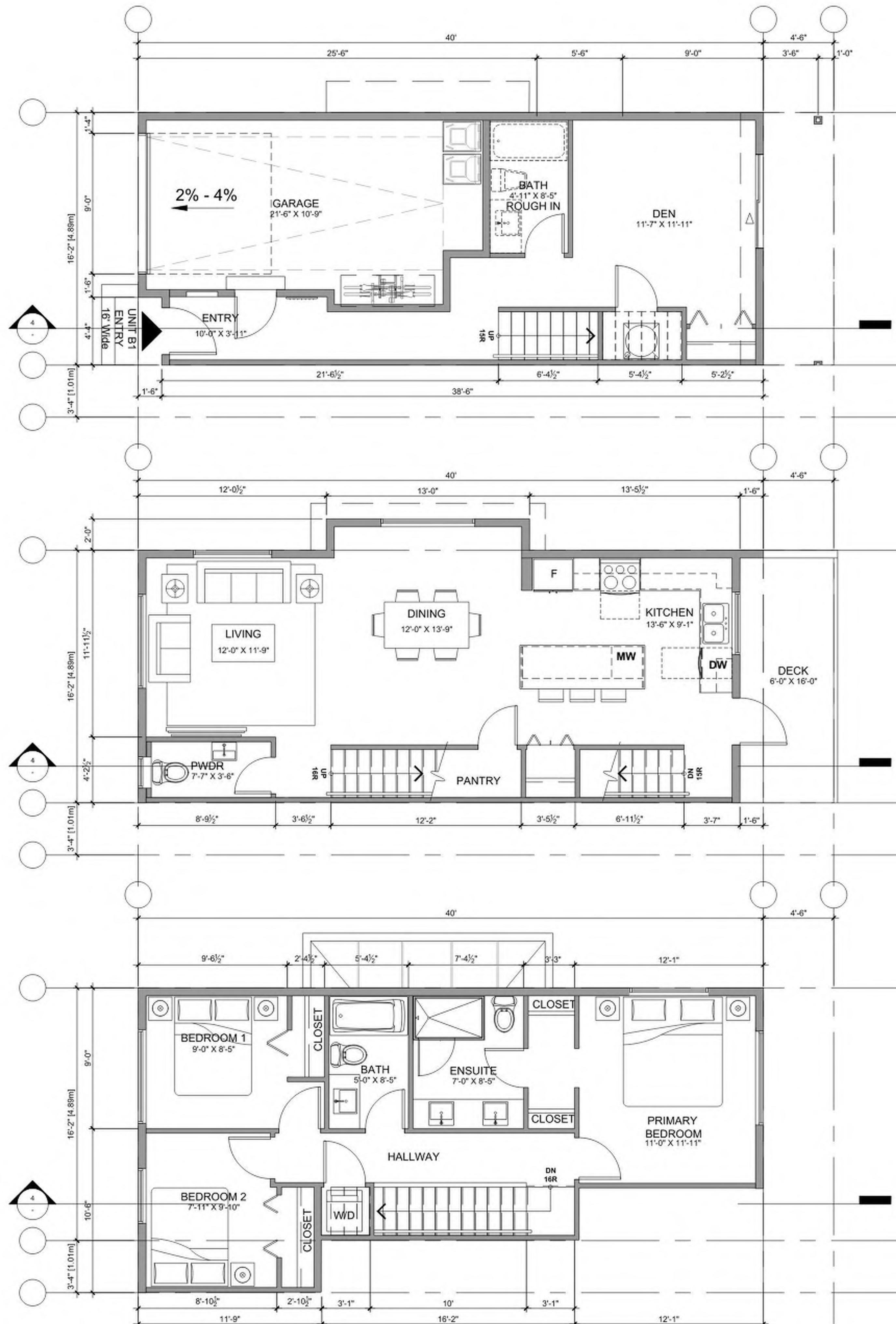
COLWOOD, BC

DRAWING TITLE

UNIT - B1a
SECTIONS

DRAWING No.

A4.12b



UNIT B1e AREAS:	S.F.	S.M.
- GROUND FLOOR	380.2	35.32
- MAIN FLOOR	648.4	60.24
- UPPER FLOOR	646.7	60.08
- AREA TOTAL (GROSS) =	1,675.26	155.64
- GARAGE	260.0	24.15
- AREA TOTAL (W/ GARAGE) =	1,935.24	179.79

STAIR CALCULATION - TYPICAL
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

2 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

REVISIONS

ISSUES	DATE
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4	REISSUED FOR DP APPLICATION
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1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
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CONSULTANT	



PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

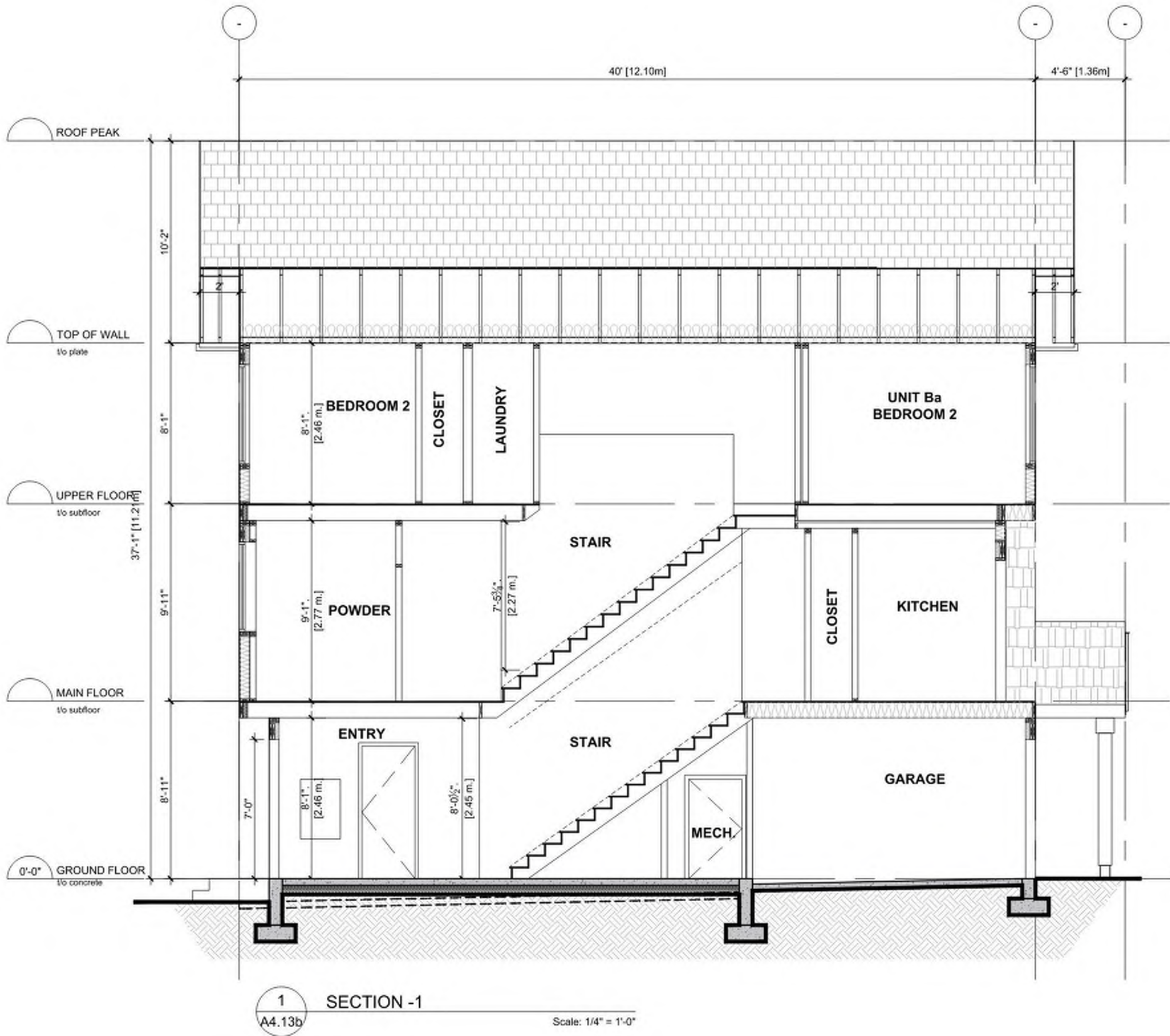
COLWOOD, BC

DRAWING TITLE

**UNIT - B1e
FLOOR PLANS**

DRAWING No.

A4.13a



STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10" [3.04m]
RISE: 16 @ 7.5" [190.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 9' [2.74m]
RISE: 15 @ 7.2" [182.88mm]
RUN: 14 @ 10" [255.0mm]

REVISIONS	
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ISSUES	DATE
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT

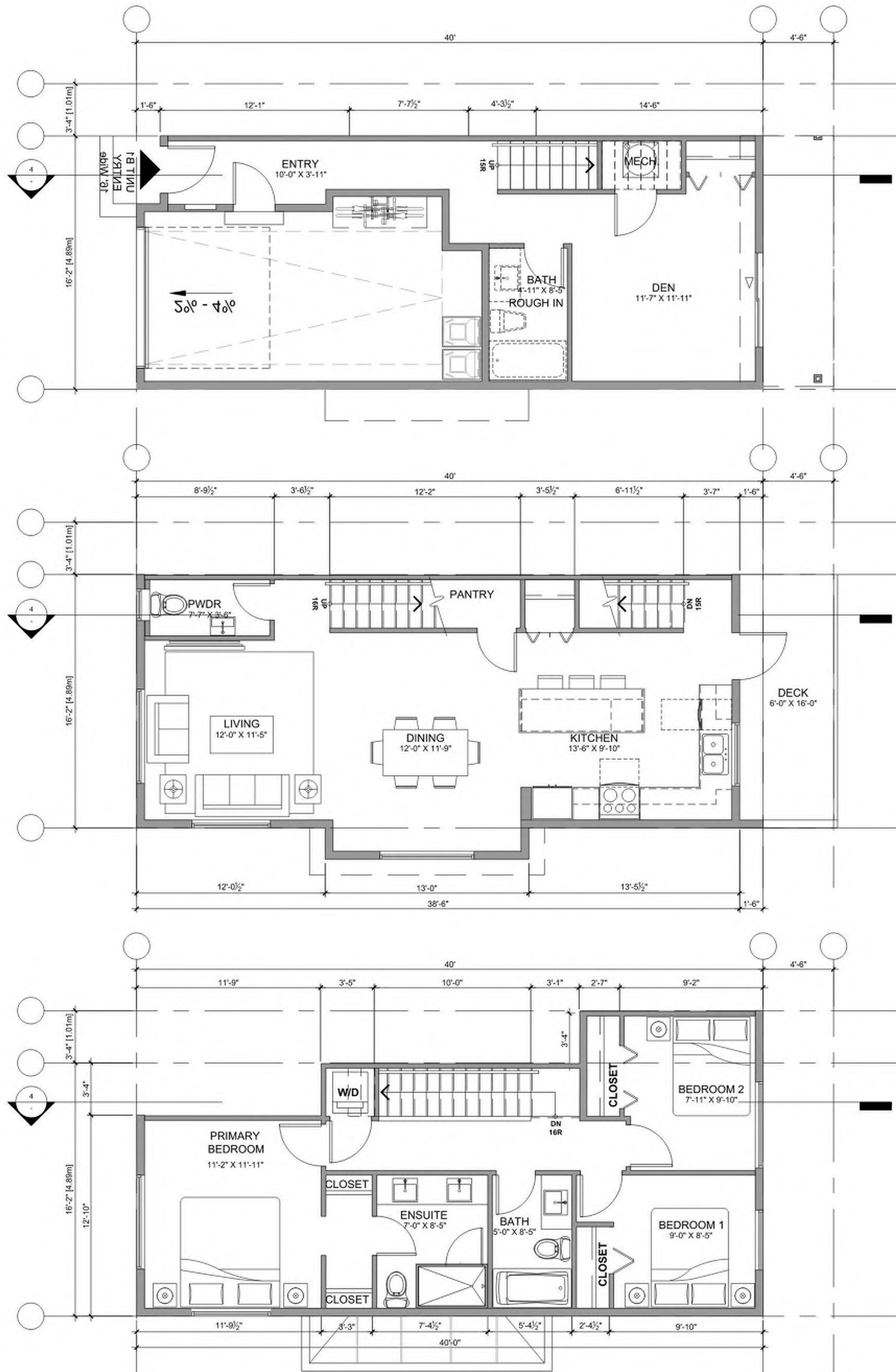
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

UNIT - B1e SECTIONS

DRAWING No.



UNIT B1ae AREAS:	S.F.	S.M.
- GROUND FLOOR	389.3	36.17
- MAIN FLOOR	648.4	60.24
- UPPER FLOOR	646.7	60.08
- AREA TOTAL (GROSS) =	1,684.39	156.49
- GARAGE	250.8	23.30
- AREA TOTAL (W/ GARAGE) =	1,935.24	179.79

STAIR CALCULATION - TYPICAL
LEVEL 1 - LEVEL 2

HEIGHT: 8'-11" [3.00m]
RISE: 15 @ 7 1/4" [187.5mm]
RUN: 14 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

2 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

3 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

REVISIONS

ISSUES	DATE
8	
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4 REISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY

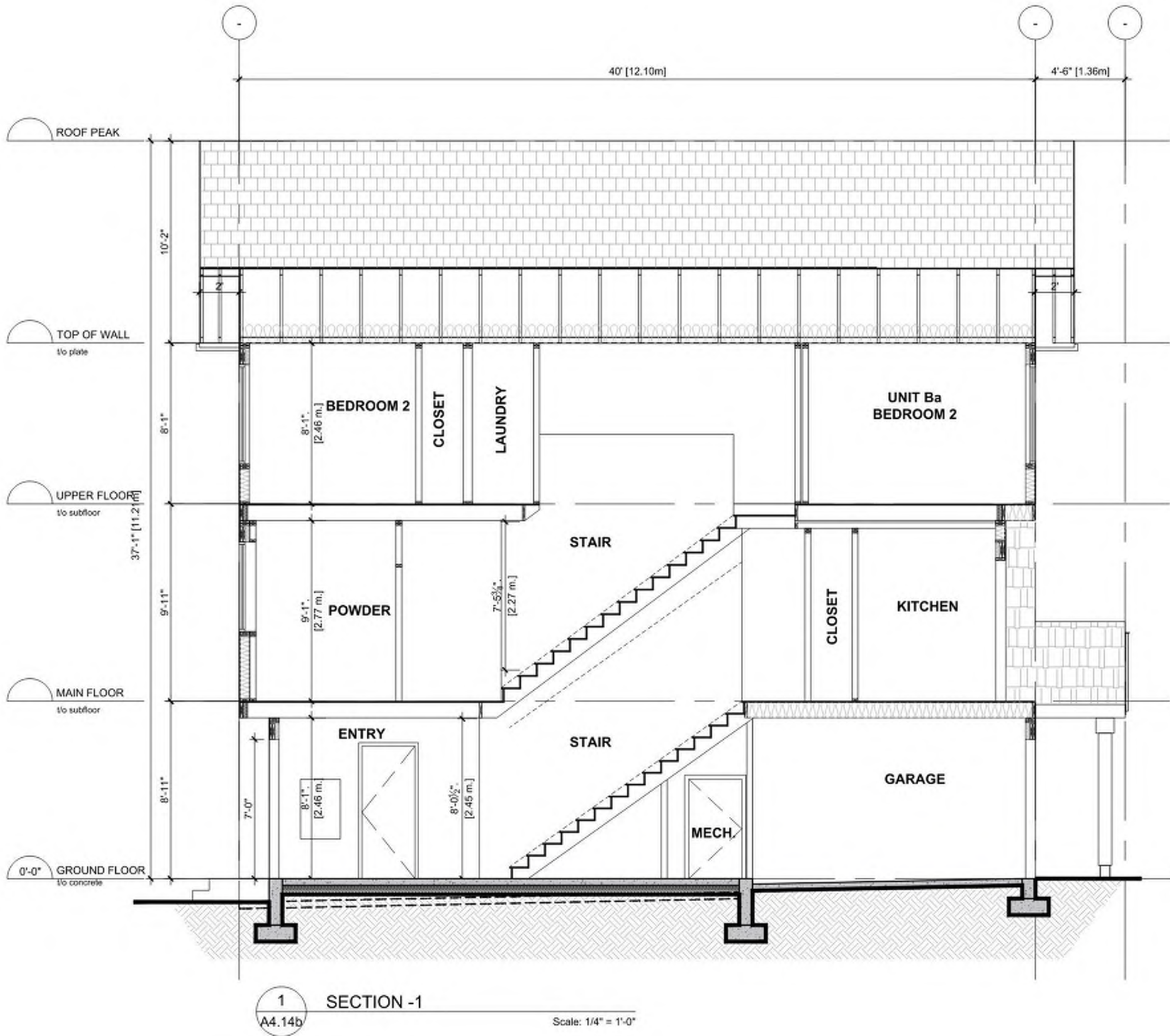
COLWOOD, BC

DRAWING TITLE

**UNIT - B1ae
FLOOR PLANS**

DRAWING No.

A4.14a



STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 10" [3.04m]
RISE: 16 @ 7.5" [190.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 1 - LEVEL 2

HEIGHT: 9' [2.74m]
RISE: 15 @ 7.2" [182.88mm]
RUN: 14 @ 10" [255.0mm]

REVISIONS	
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ISSUES	DATE
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4	REISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	RE-ISSUED FOR DP APPLICATION
1	ISSUED FOR DP APPLICATION

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT	ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY COLWOOD, BC
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DRAWING TITLE	UNIT - B1ae SECTIONS
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DRAWING No.	A4.14b
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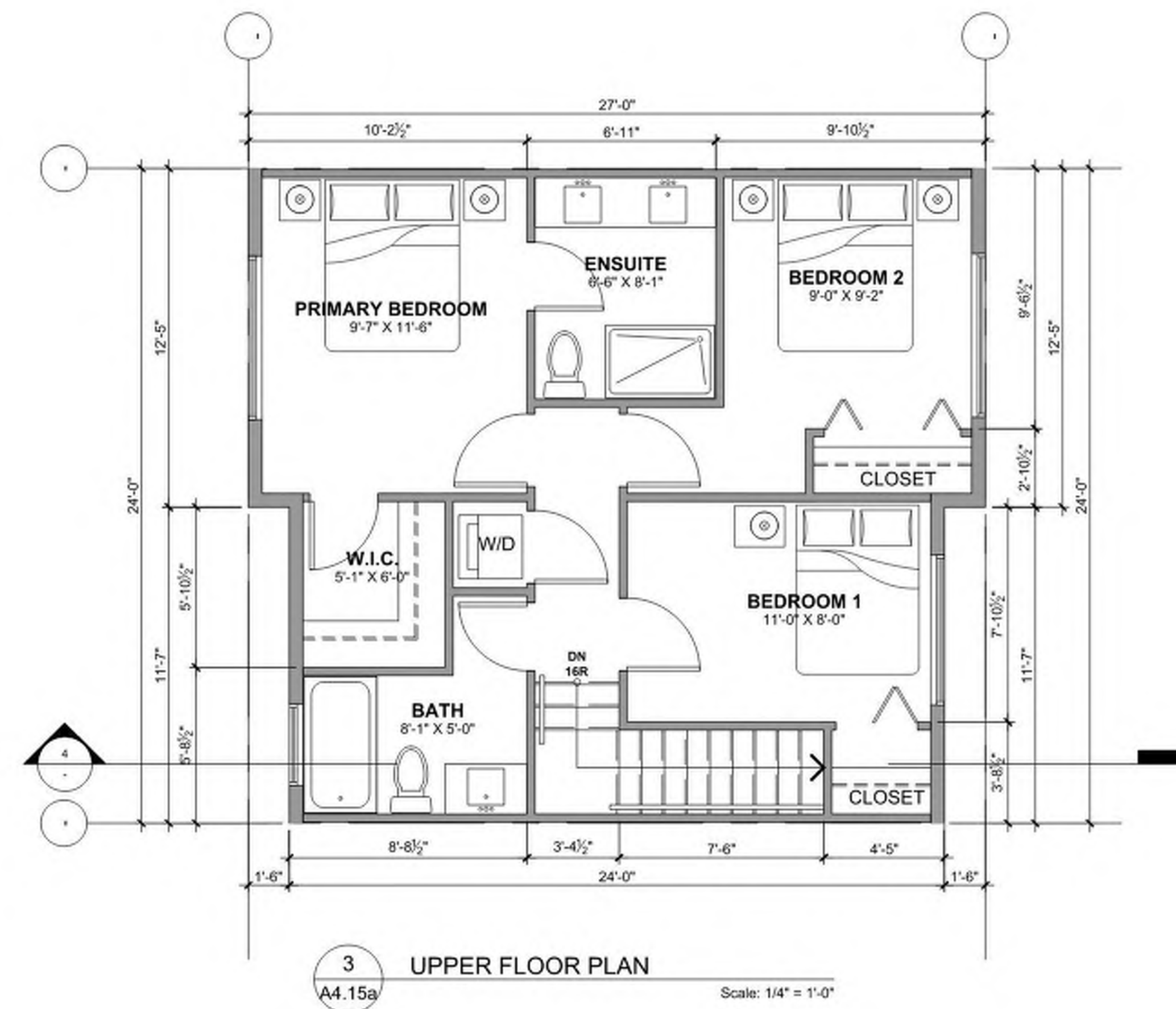
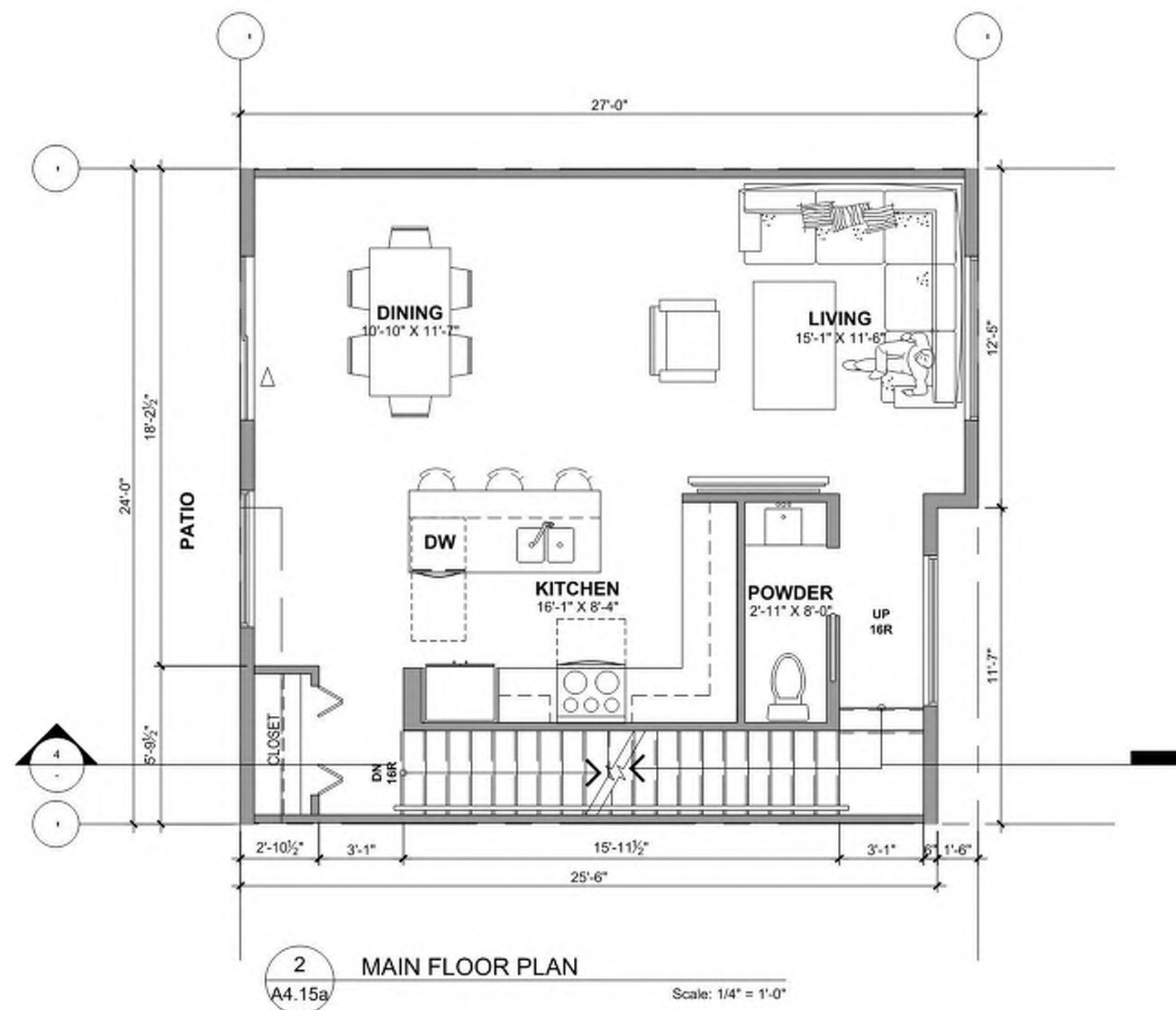
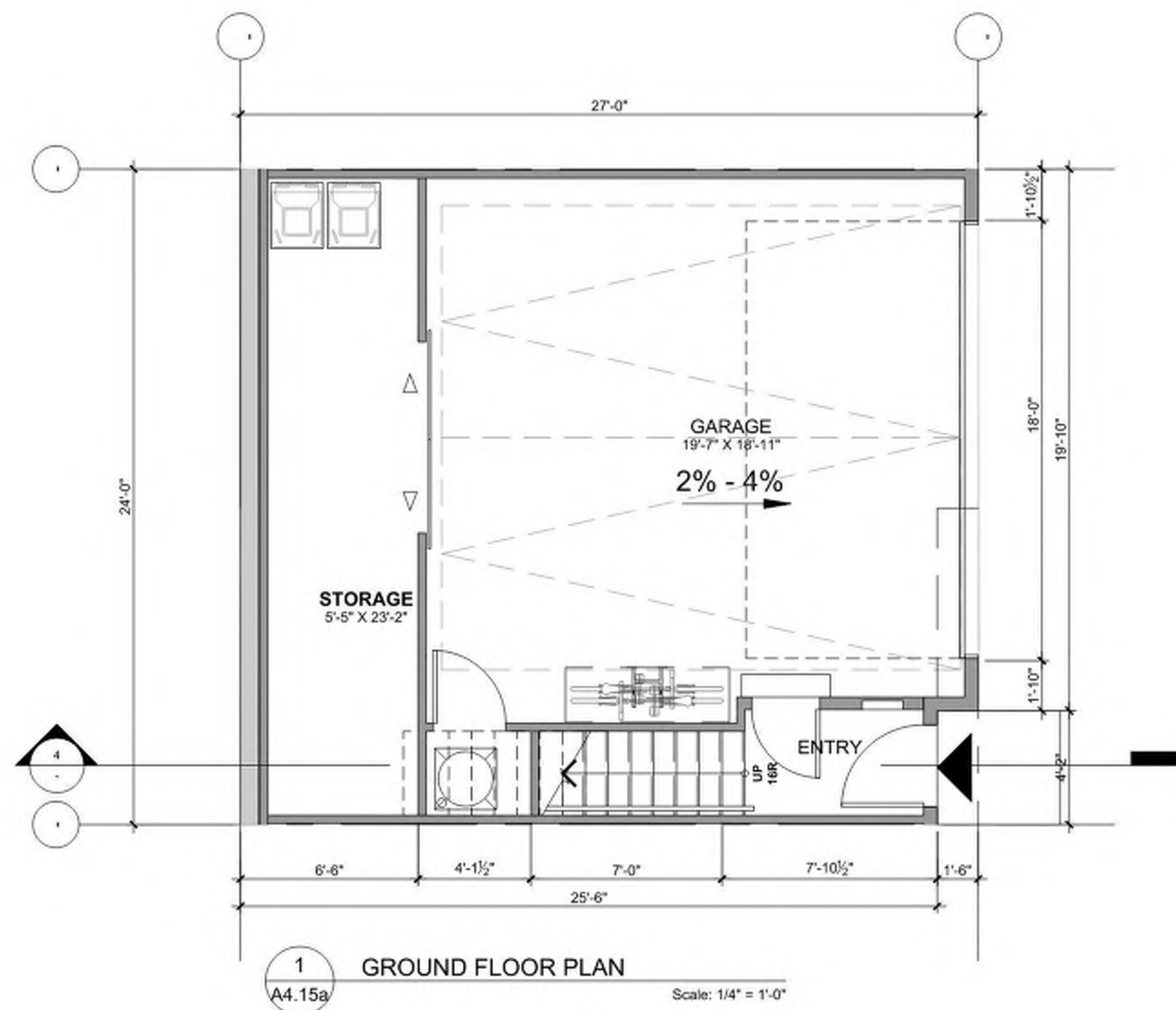
UNIT C AREAS:	S.F.	S.M.
- GROUND FLOOR	233.0	21.64
- MAIN FLOOR	630.6	58.59
- UPPER FLOOR	613.2	56.97
AREA TOTAL (GROSS) =	1,476.83	137.20
- GARAGE	408.8	37.98
- AREA TOTAL (Including Garage) =	1,885.62	175.18

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
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4 REISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	

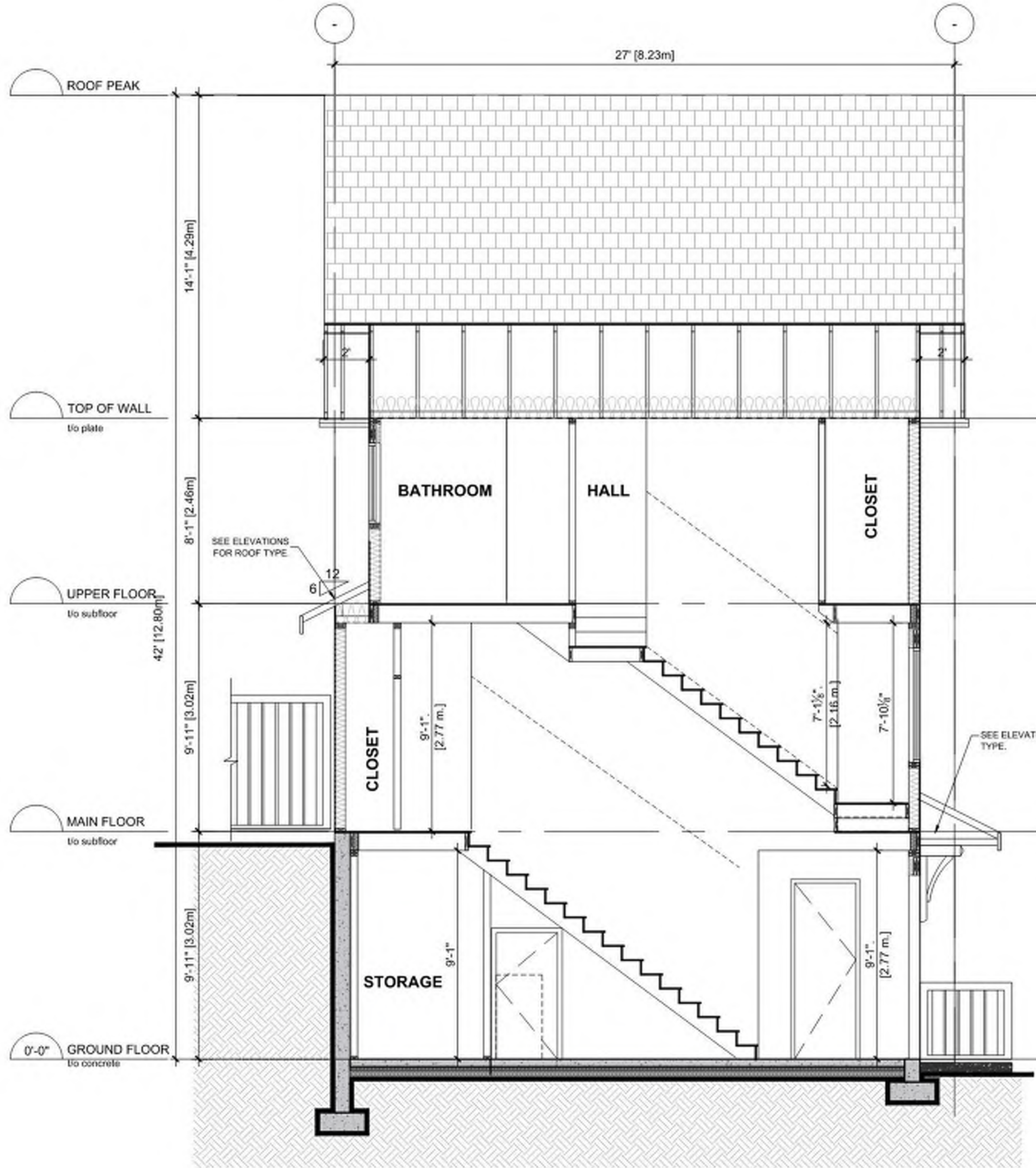


PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC

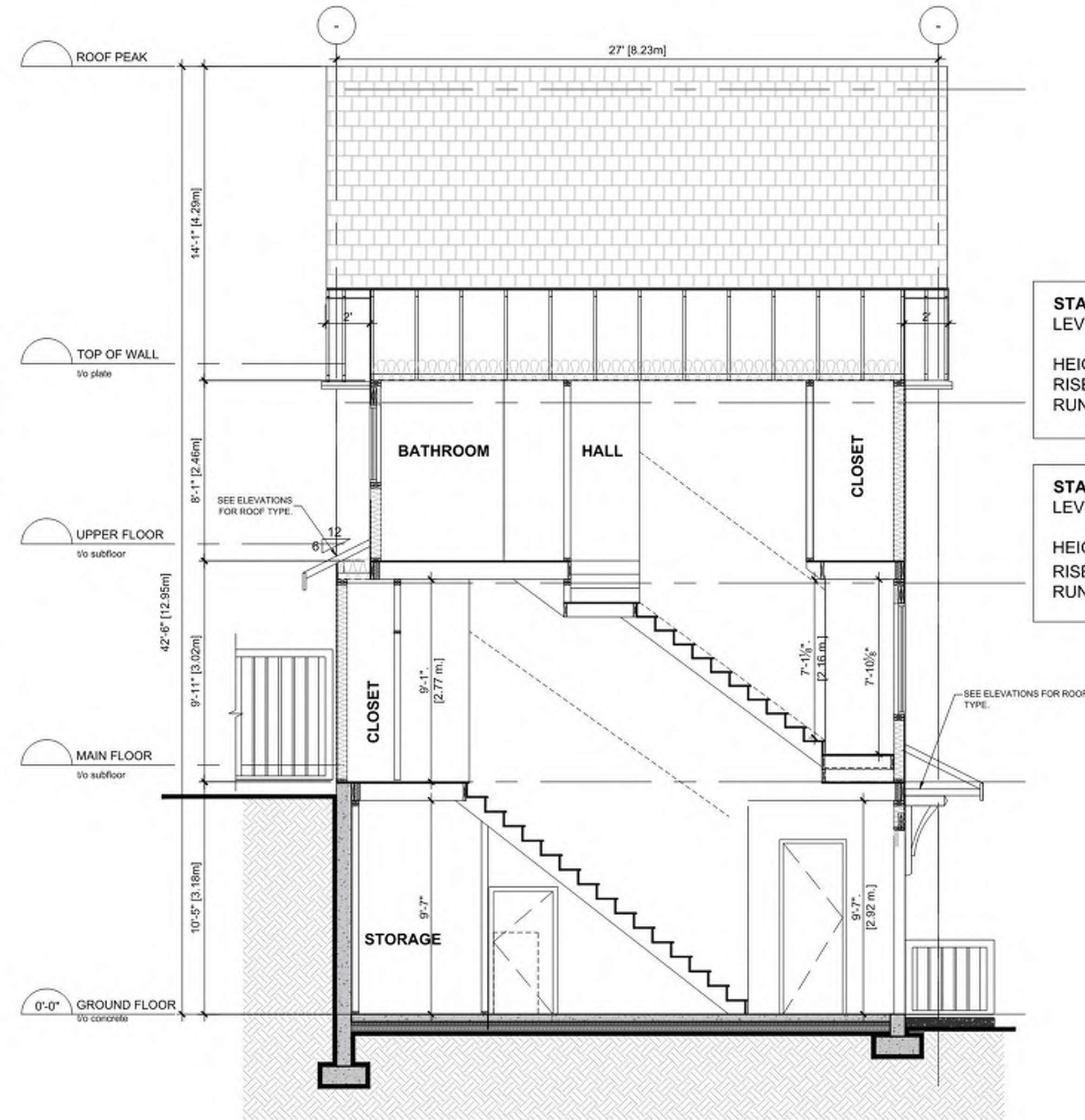
DRAWING TITLE
**UNIT - C
FLOOR PLANS**

DRAWING No.

A4.15a



1 SECTION -1
A4.15b Scale: 1/4" = 1'-0"



1 SECTION -1
A4.15b Scale: 1/4" = 1'-0"

REVISIONS	
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ISSUES	DATE
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4	REISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	



PROJECT	ABSTRACT DEVELOPMENTS TRUMPETER LOT 82 - ROYAL BAY COLWOOD, BC
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DRAWING TITLE	UNIT - C SECTIONS
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DRAWING No.	
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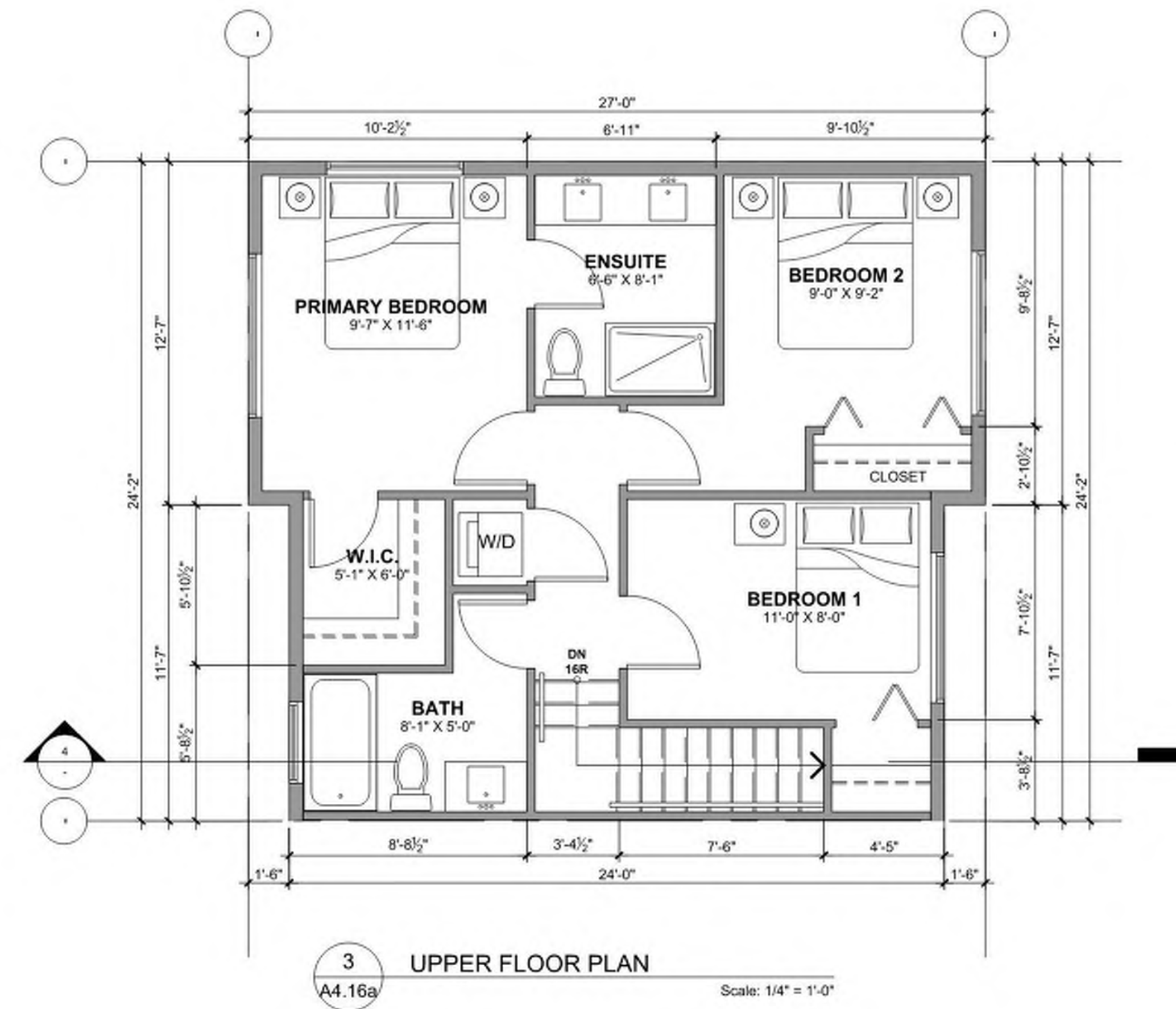
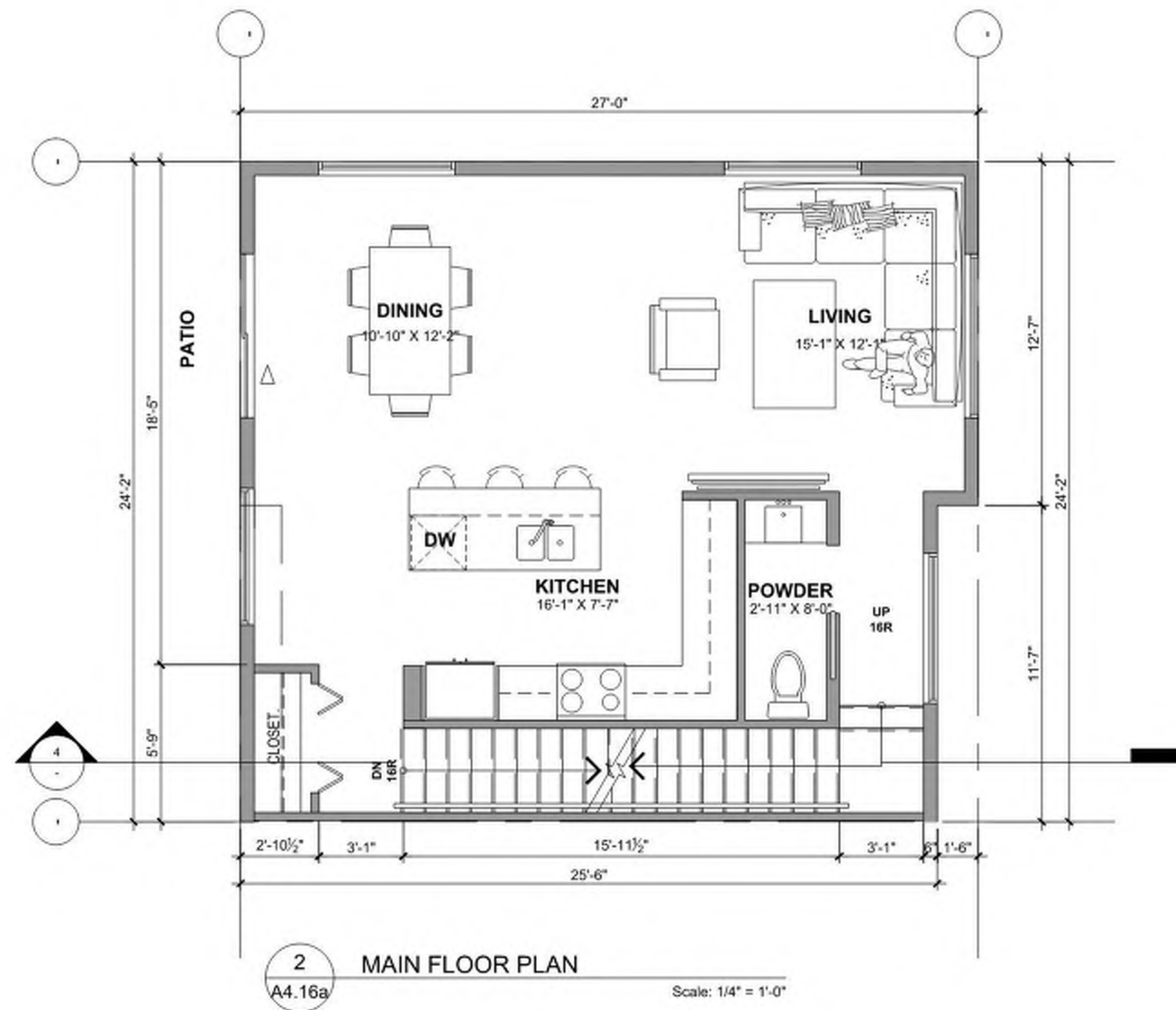
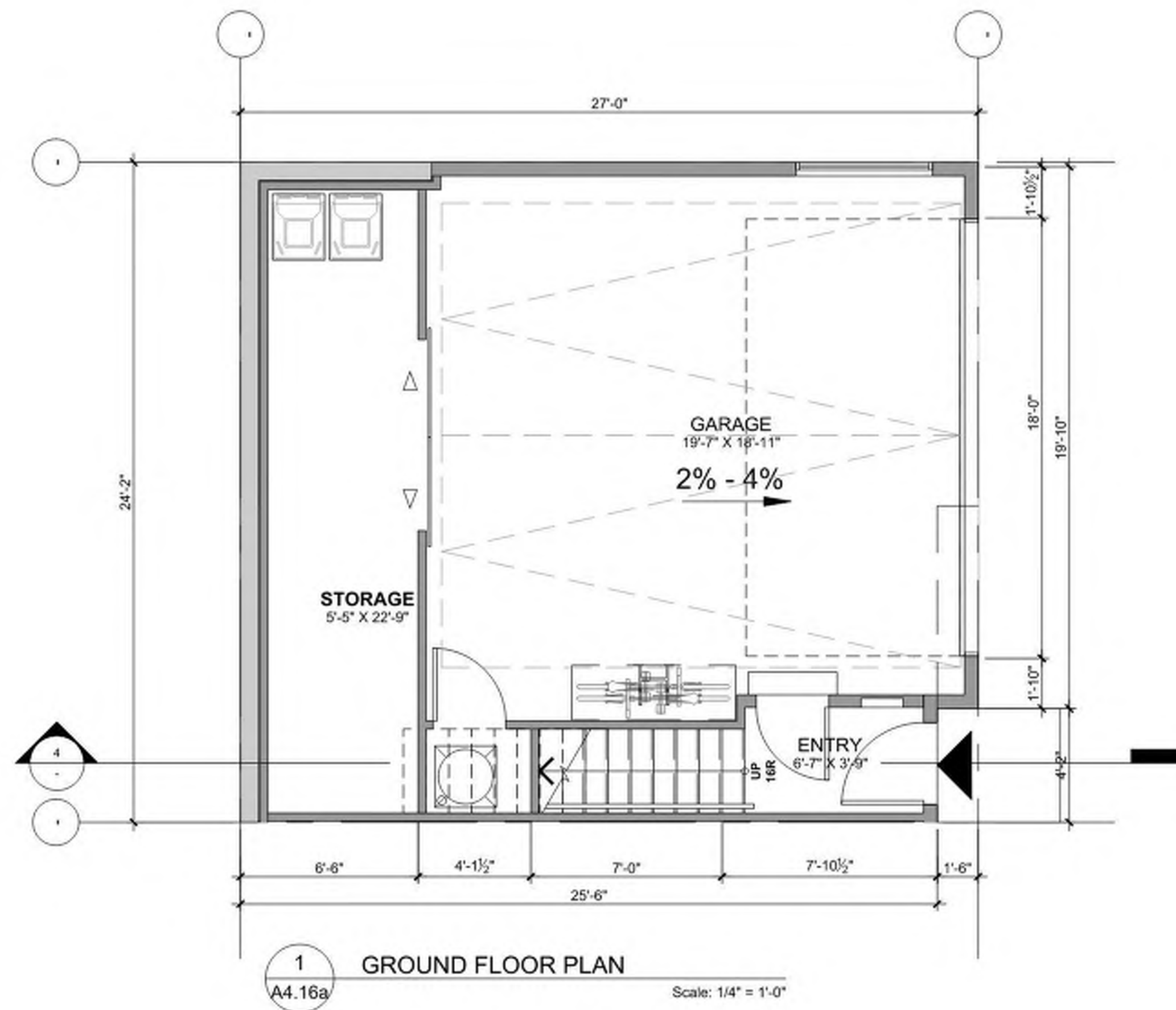
UNIT Ce AREAS:	S.F.	S.M.
- GROUND FLOOR	234.0	21.74
- MAIN FLOOR	635.1	59.01
- UPPER FLOOR	617.7	57.39
AREA TOTAL (GROSS) =	1,486.92	138.14
- GARAGE	412.2	38.29
- AREA TOTAL (Including Garage) =	1,899.12	176.43

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
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4 REISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER	DD-92
DRAWN BY	HA / PM / BL
CHECKED BY	RR
DATE CHECKED	
CONSULTANT	

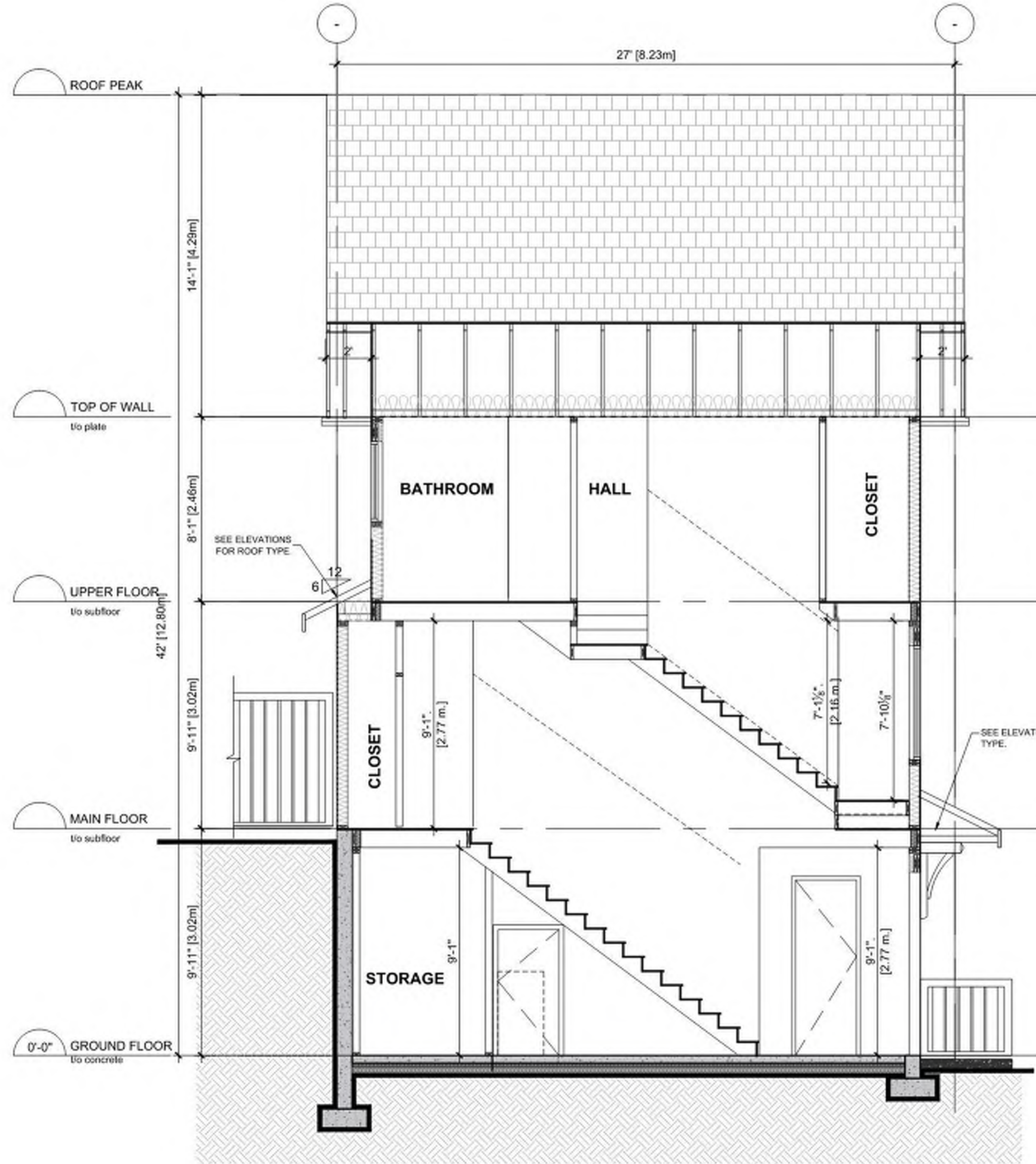


PROJECT
ABSTRACT DEVELOPMENTS
TRUMPETER LOT 82 - ROYAL BAY
COLWOOD, BC

DRAWING TITLE
**UNIT - Ce
FLOOR PLANS**

DRAWING No.

A4.16a



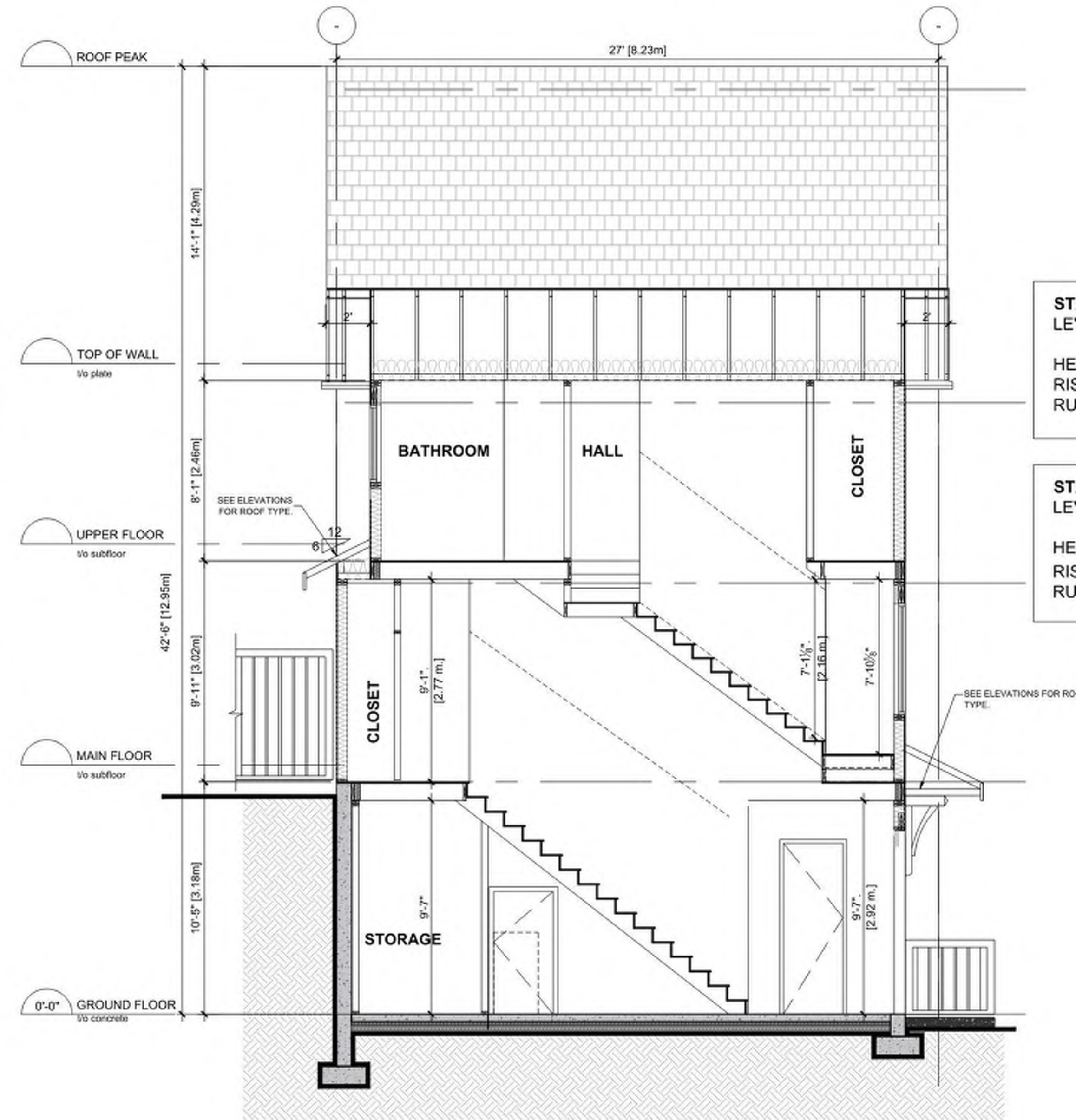
1 SECTION -1
A4.16b Scale: 1/4" = 1'-0"

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]



1 SECTION -1
A4.16b Scale: 1/4" = 1'-0"

STAIR CALCULATION - BLDG 1 LEVEL 1 - LEVEL 2

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 7/8" [200.0mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

REVISIONS

ISSUES	DATE
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4	REISSUED FOR DP APPLICATION 2023-06-20
3	RE-ISSUED FOR DP APPLICATION 2023-05-24
2	RE-ISSUED FOR DP APPLICATION 2023-03-01
1	ISSUED FOR DP APPLICATION 2022-10-17

PROJECT NUMBER DD-92

DRAWN BY HA / PM / BL

CHECKED BY RR

DATE CHECKED

CONSULTANT



PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

**UNIT - C
SECTIONS**

DRAWING No.

A4.16b

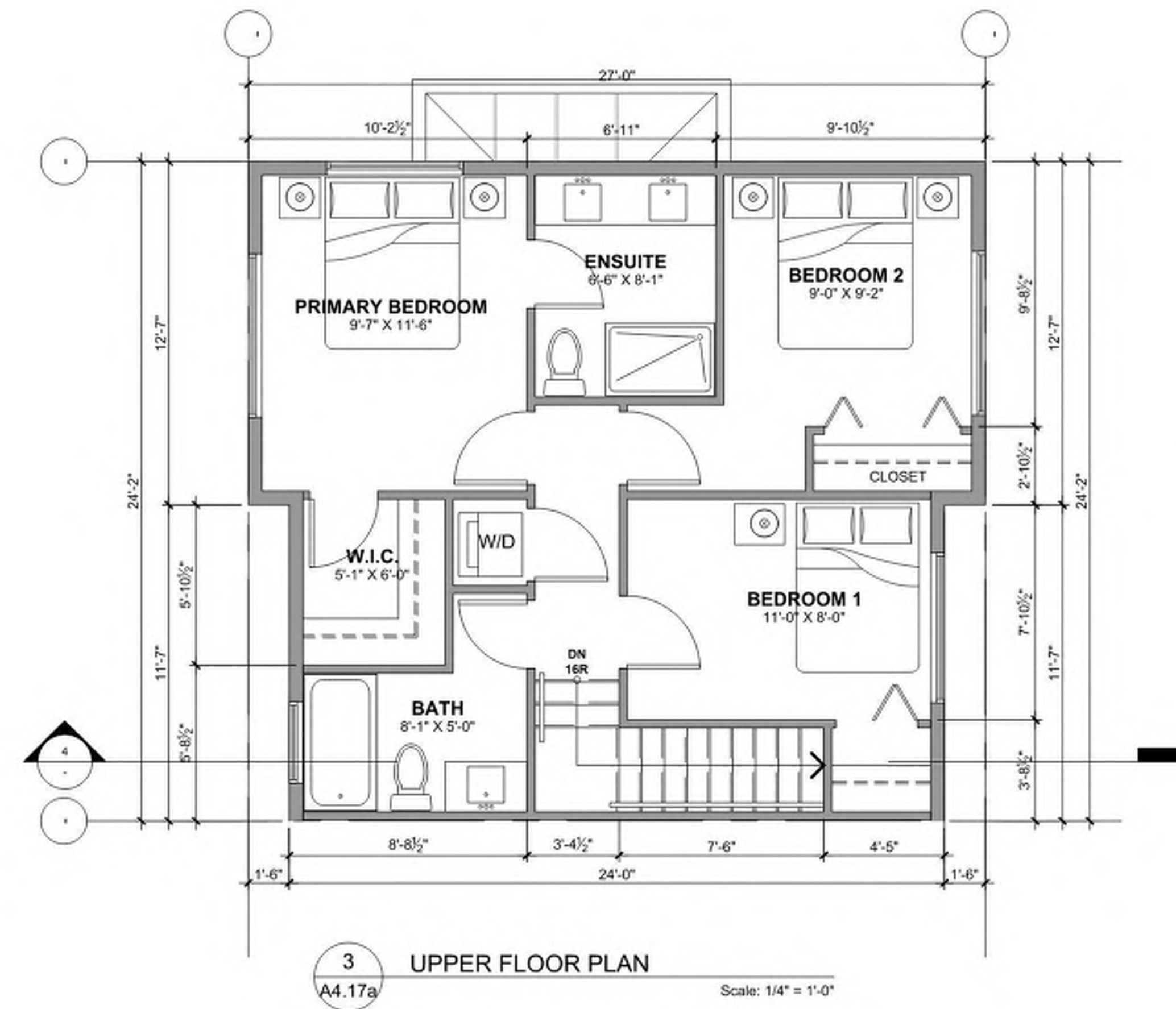
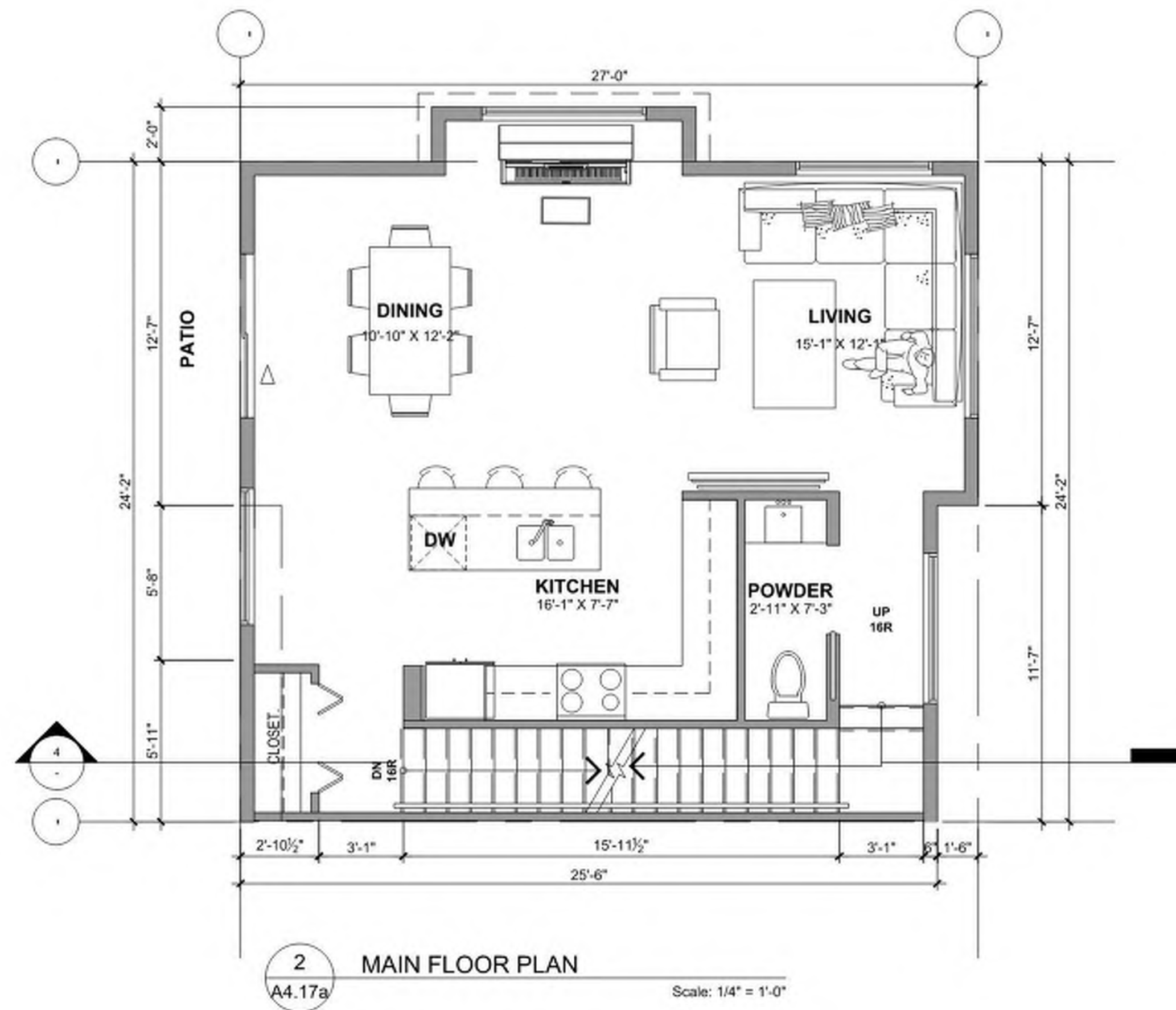
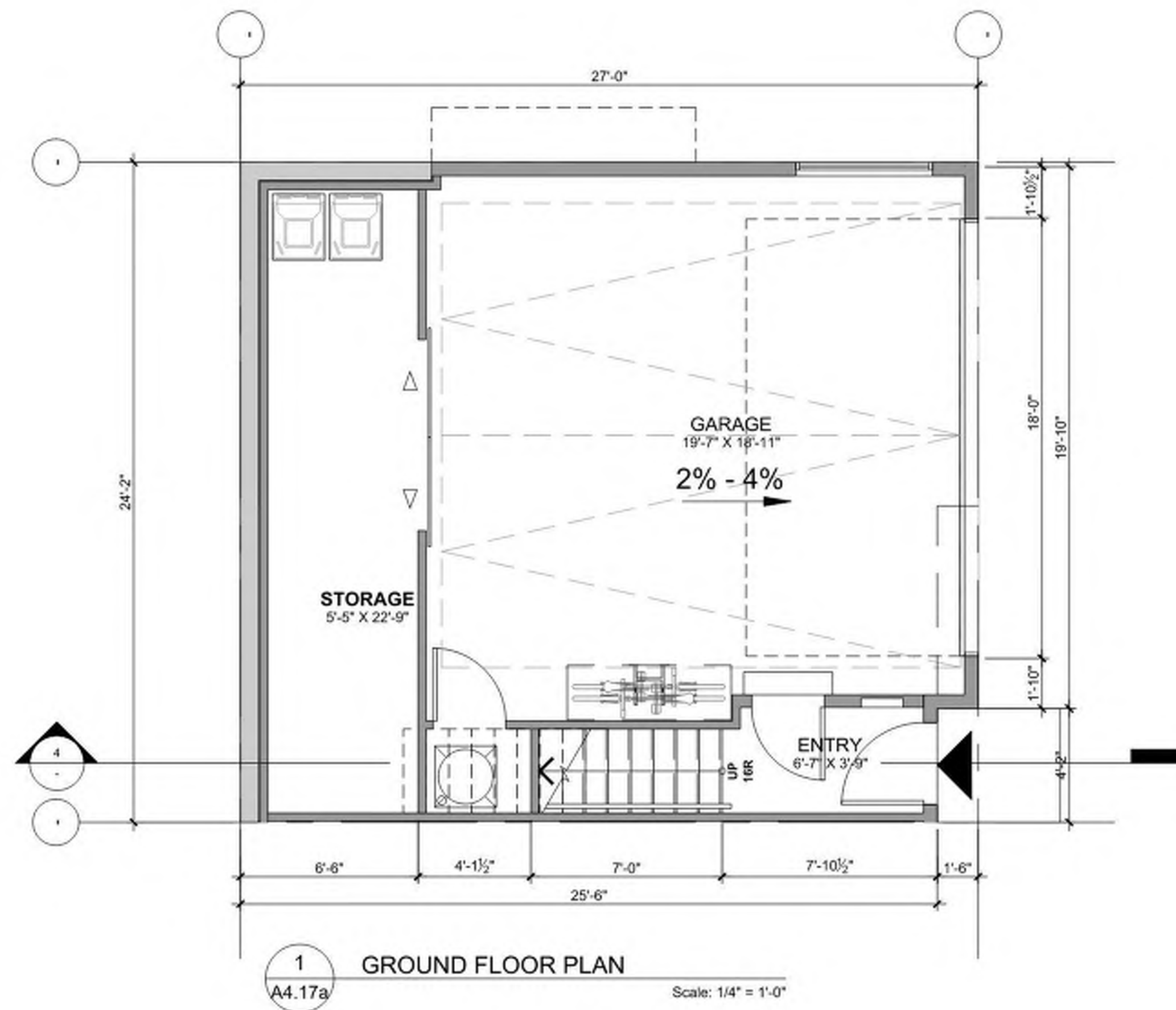
UNIT C1 AREAS:	S.F.	S.M.
- GROUND FLOOR	234.2	21.76
- MAIN FLOOR	654.5	60.80
- UPPER FLOOR	617.7	57.39
AREA TOTAL (GROSS) =	1,506.42	139.95
- GARAGE	412.0	38.28
- AREA TOTAL (Including Garage) =	1,918.46	178.23

STAIR CALCULATION - TYPICAL LEVEL 1 - LEVEL 2

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]



REVISIONS

ISSUES	DATE
8	
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4 REISSUED FOR DP APPLICATION	2023-06-20
3 RE-ISSUED FOR DP APPLICATION	2023-05-24
2 RE-ISSUED FOR DP APPLICATION	2023-03-01
1 ISSUED FOR DP APPLICATION	2022-10-17

PROJECT NUMBER DO-92

DRAWN BY HA / PM / BL

CHECKED BY RR

DATE CHECKED

CONSULTANT



PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

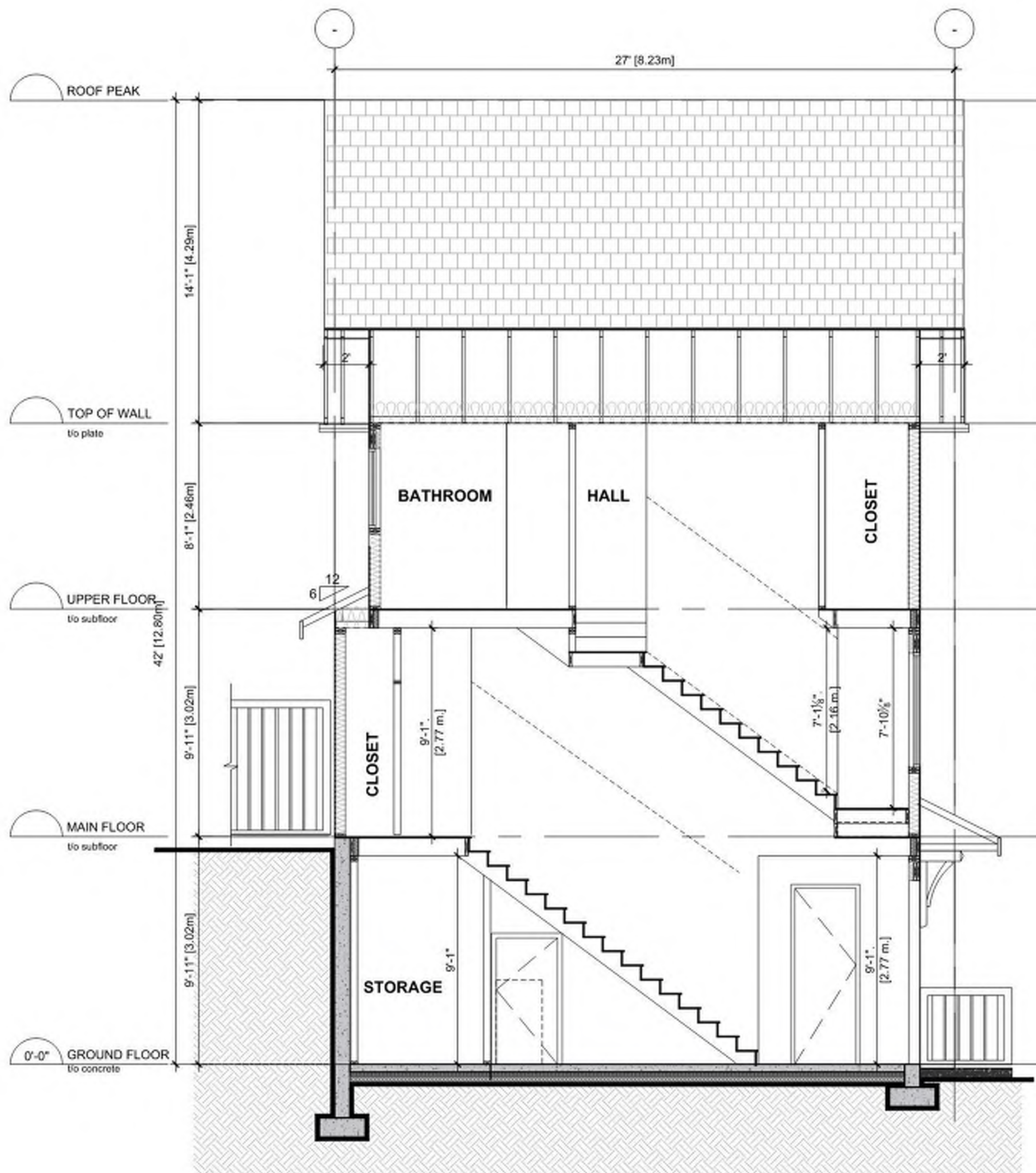
COLWOOD, BC

DRAWING TITLE

**UNIT - C1
FLOOR PLANS**

DRAWING No.

A4.17a



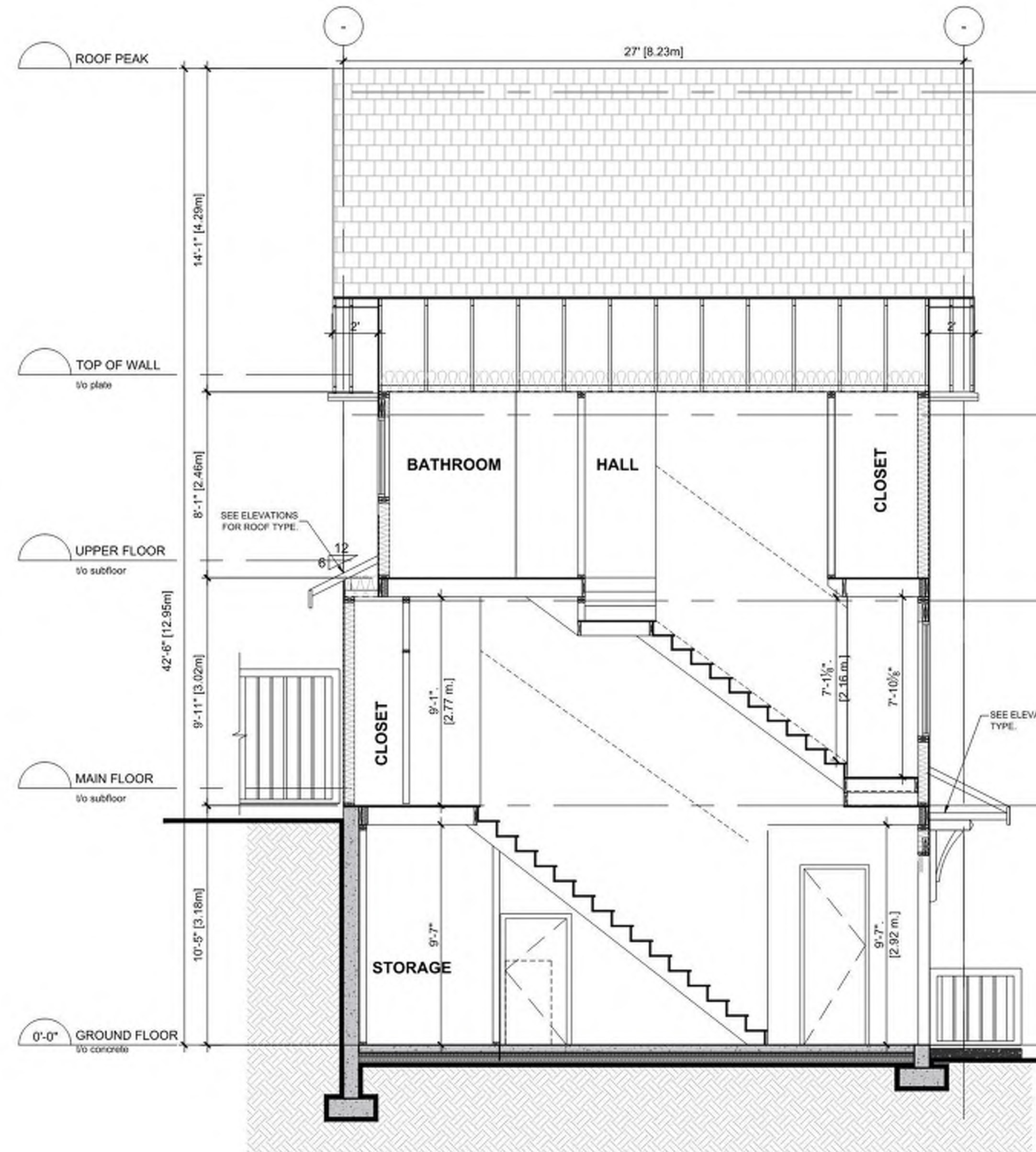
1 SECTION -1
A4.17b Scale: 1/4" = 1'-0"

STAIR CALCULATION - TYPICAL
LEVEL 1 - LEVEL 2

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]



1 SECTION -1
A4.17b Scale: 1/4" = 1'-0"

STAIR CALCULATION - BLDG 1
LEVEL 1 - LEVEL 2

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 7/8" [200.0mm]
RUN: 15 @ 10" [255.0mm]

STAIR CALCULATION
LEVEL 2 - LEVEL 3

HEIGHT: 9'-11" [3.00m]
RISE: 16 @ 7 1/2" [187.5mm]
RUN: 15 @ 10" [255.0mm]

REVISIONS

1

ISSUES

8

7

6

5

4 REISSUED FOR DP APPLICATION

2023-06-20

3 RE-ISSUED FOR DP APPLICATION

2023-05-24

2 RE-ISSUED FOR DP APPLICATION

2023-03-01

1 ISSUED FOR DP APPLICATION

2022-10-17

PROJECT NUMBER

DD-92

DRAWN BY

HA / PM / BL

CHECKED BY

RR

DATE CHECKED

CONSULTANT



PROJECT

**ABSTRACT
DEVELOPMENTS**
TRUMPETER LOT 82 - ROYAL BAY

COLWOOD, BC

DRAWING TITLE

**UNIT - C1
SECTIONS**

DRAWING No.

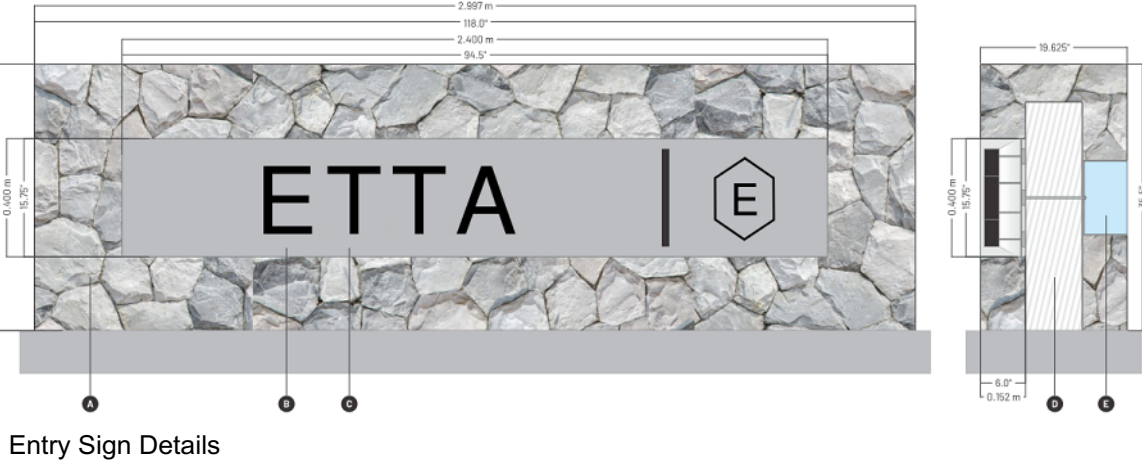
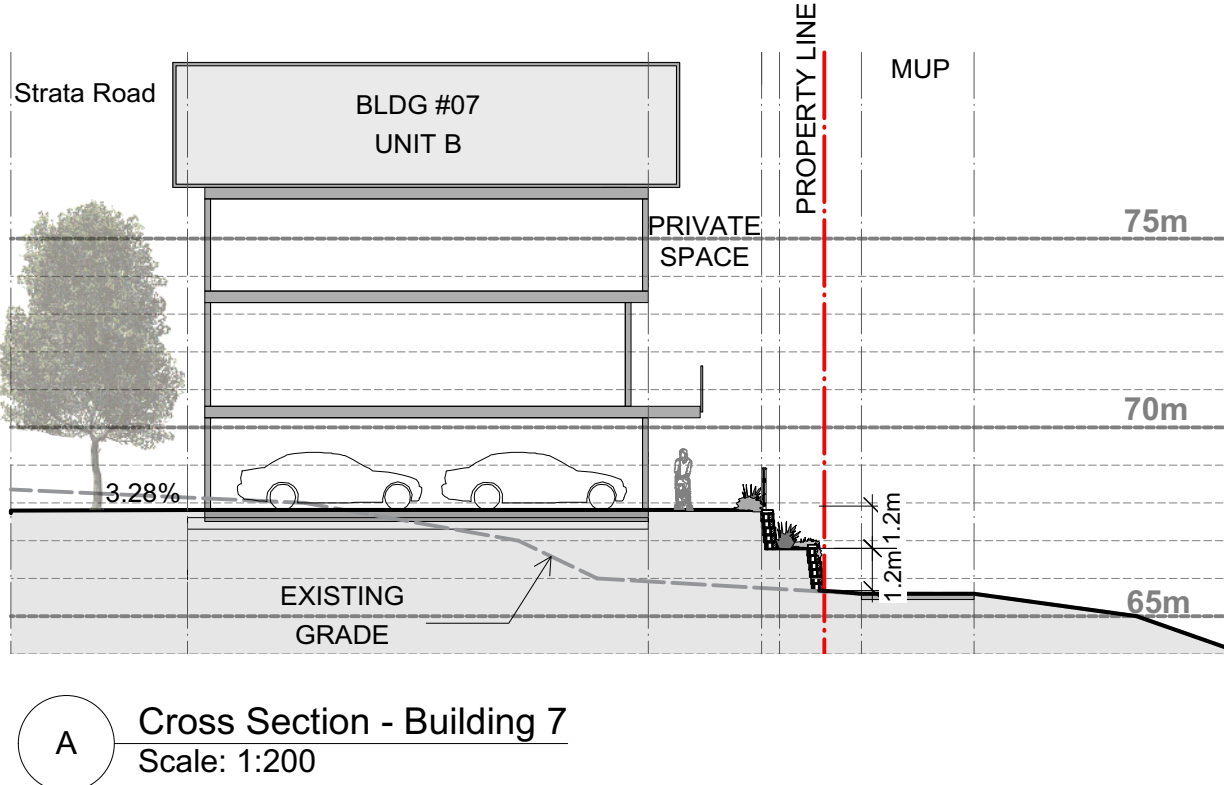
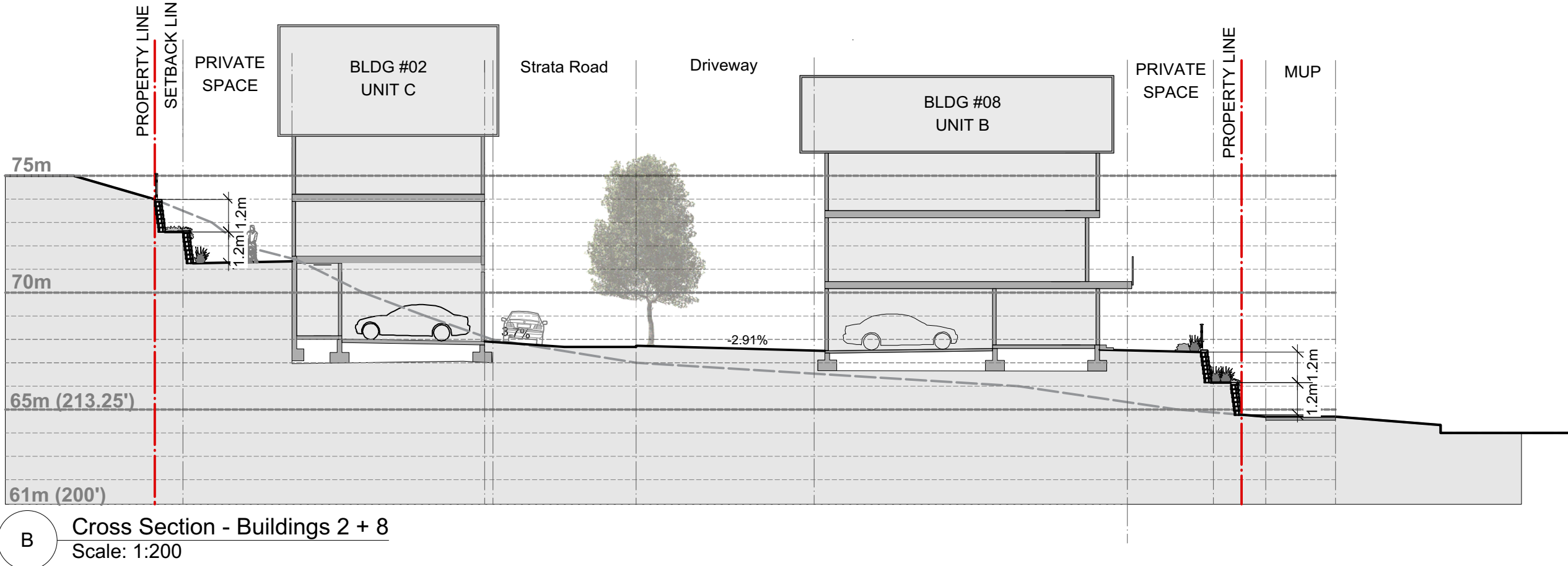
A4.17b



Recommended Nursery Stock

Trees Total: 43	Botanical Name Acer circinatum Acer palmatum 'Osakazuki' Acer rubrum 'Autumn Flame' Acer rubrum 'October Glory' Amelanchier x grandiflora 'autumn Brilliance' Cercis canadensis 'Forest Pansy' Magnolia Galaxy	Common Name Vine Maple Osakazuki Japanese Maple Autumn Flame Scarlet Maple October Glory Red Maple Autumn Brilliance Serviceberry Forest Pansy Redbud Galaxy Magnolia	Size 2.5m ht. 6cm cal. 6cm cal. 6cm cal. 4cm cal. 6cm cal. 6cm cal.
	Botanical Name Juniperus communis Philadelphus 'Belle Etoile' Philadelphus lewisii Taxus x media 'Hicksii' Vaccinium ovatum	Common Name Common Juniper Belle Etoile Mock Orange Mock Orange Hicks Yew Evergreen Huckleberry	Size 1.0m ht. #5 pot #5 pot 1.0m ht. #5 pot
	Botanical Name Hydrangea macrophylla 'Lanarth White' Rhododendron 'Hino-crimson' Rhododendron 'Rosa Mundi' Ribes sanguineum 'King Edward VII' Symphoricarpos albus	Common Name Lanarth White Hydrangea Evergreen Azalea Rosa Mundi Rhododendron King Edward VII Flowering Currant Snowberry	Size #3 pot #3 pot #3 pot #3 pot #3 pot
Large Shrubs Total: 103	Botanical Name Juniperus communis Philadelphus 'Belle Etoile' Philadelphus lewisii Taxus x media 'Hicksii' Vaccinium ovatum	Common Name Common Juniper Belle Etoile Mock Orange Mock Orange Hicks Yew Evergreen Huckleberry	Size 1.0m ht. #5 pot #5 pot 1.0m ht. #5 pot
	Botanical Name Juniperus communis Philadelphus 'Belle Etoile' Philadelphus lewisii Taxus x media 'Hicksii' Vaccinium ovatum	Common Name Common Juniper Belle Etoile Mock Orange Mock Orange Hicks Yew Evergreen Huckleberry	Size 1.0m ht. #5 pot #5 pot 1.0m ht. #5 pot
Medium Shrubs Total: 471	Botanical Name Juniperus communis Philadelphus 'Belle Etoile' Philadelphus lewisii Taxus x media 'Hicksii' Vaccinium ovatum	Common Name Common Juniper Belle Etoile Mock Orange Mock Orange Hicks Yew Evergreen Huckleberry	Size 1.0m ht. #5 pot #5 pot 1.0m ht. #5 pot
	Botanical Name Juniperus communis Philadelphus 'Belle Etoile' Philadelphus lewisii Taxus x media 'Hicksii' Vaccinium ovatum	Common Name Common Juniper Belle Etoile Mock Orange Mock Orange Hicks Yew Evergreen Huckleberry	Size 1.0m ht. #5 pot #5 pot 1.0m ht. #5 pot
Small Shrubs Total: 952	Botanical Name Juniperus communis Philadelphus 'Belle Etoile' Philadelphus lewisii Taxus x media 'Hicksii' Vaccinium ovatum	Common Name Common Juniper Belle Etoile Mock Orange Mock Orange Hicks Yew Evergreen Huckleberry	Size 1.0m ht. #5 pot #5 pot 1.0m ht. #5 pot
	Botanical Name Juniperus communis Philadelphus 'Belle Etoile' Philadelphus lewisii Taxus x media 'Hicksii' Vaccinium ovatum	Common Name Common Juniper Belle Etoile Mock Orange Mock Orange Hicks Yew Evergreen Huckleberry	Size 1.0m ht. #5 pot #5 pot 1.0m ht. #5 pot
Perennials, Annuals and Ferns Total: 490	Botanical Name Juniperus communis Philadelphus 'Belle Etoile' Philadelphus lewisii Taxus x media 'Hicksii' Vaccinium ovatum	Common Name Common Juniper Belle Etoile Mock Orange Mock Orange Hicks Yew Evergreen Huckleberry	Size 1.0m ht. #5 pot #5 pot 1.0m ht. #5 pot
	Botanical Name Juniperus communis Philadelphus 'Belle Etoile' Philadelphus lewisii Taxus x media 'Hicksii' Vaccinium ovatum	Common Name Common Juniper Belle Etoile Mock Orange Mock Orange Hicks Yew Evergreen Huckleberry	Size 1.0m ht. #5 pot #5 pot 1.0m ht. #5 pot

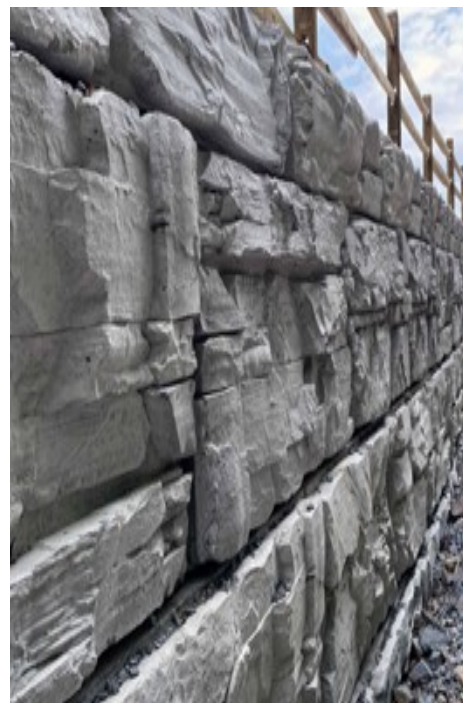
Notes:
1. All work to be completed to current CSLA Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system



Stepping Slab Pathway



Unit Paver Border



Retaining Wall



Nature Themed Play Elements



Gateway Arbor



Entry Columns

CHARACTER IMAGES

Landscape Plan - Trumpeter Lot 82



LADR LANDSCAPE ARCHITECTS

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WWW.LADRLA.CA

82 Trumpeter Landscape Budget Estimate

A. SOFT LANDSCAPE	Quantity	Units	Price	Extension
1. PLANTS				
Trees (6 cm caliper)	36	each	\$525.00	\$18,900.00
Trees (4cm caliper)	3	each	\$350.00	\$1,050.00
Trees (2.5m ht)	4	each	\$285.00	\$1,140.00
Shrubs (1.0m ht)	34	each	\$150.00	\$5,100.00
Shrubs (#5 pot)	69	each	\$75.00	\$5,175.00
Shrubs (#3 pot)	471	each	\$57.00	\$26,847.00
Shrubs (#1 pot)	952	each	\$16.50	\$15,708.00
Perennials, Annuals, Ferns (#1 pot)	490	each	\$16.50	\$8,085.00
SUB-TOTAL PLANTS				\$82,005.00
2. GRASS				
Sod	254	m.sq.	\$14.50	\$3,683.00
Meadow Mix	248	m.sq.	\$2.00	\$496.00
3. SOIL				
Soil (Trees and Planting Beds)	679	m.cu.	\$32.00	\$21,728.00
Soil (Meadow Area)	74	m.cu.	\$32.00	\$2,368.00
Mulch (All Beds)	138	m.cu.	\$40.00	\$5,520.00
SUBTOTAL SOFT LANDSCAPE				\$115,800.00
B. HARD LANDSCAPE				
1. IRRIGATION ALLOWANCE				\$18,700.00
2. STONE AND ROCK				
River Rock 155mm depth	38	m.cu.	\$98.00	\$3,724.00
3. SURFACING				
Fibar 200mm depth	6	m.cu.	\$50.00	\$310.00
Concrete Slabs	38	m.sq.	\$33.50	\$1,273.00
Decorative Concrete Slabs	487	m.sq.	\$40.00	\$19,480.00
Decorative Concrete Pavers	301	m.sq.	\$135.00	\$40,635.00
4. SITE FURNISHINGS				
Inverted 'U' Bicycle Racks	3	each	\$500.00	\$1,500.00
Picnic table	1	each	\$2,500.00	\$2,500.00
Benches	1	each	\$1,500.00	\$1,500.00
Chairs	2	each	\$900.00	\$1,800.00
Play Elements (Allowance)				\$5,000.00
5. FENCING				
1800mm Privacy Fence	522	l.m.	\$125.00	\$65,250.00
SUBTOTAL HARD LANDSCAPE				\$161,672.00
TOTAL LANDSCAPE BUDGET ESTIMATE				\$277,472.00

Exclusive of GST

Prices include labour and materials. For bonding purposes only; this is not a construction estimate.

Prepared by LADR Landscape Architects

10/12/2022; updated 5/18/2023