

Public Input Binder

The general purpose of proposed “**Colwood Land Use Bylaw No. 151, 1989, Amendment No. 218 (2420/2426/2428 Sooke Road), Bylaw No. 2052, 2025**” is to rezone from R1 to TGA1 zone to permit two 6-storey apartment building with 171 total units.

Within the electronic binder, please find a copy of:

1. Staff Report to Planning and Land Use Committee (April 7, 2025)
2. Staff Presentation to Planning and Land Use Committee (April 7, 2025)
3. Proposed Bylaw, Colwood Land Use Bylaw No. 151, 1989, Amendment No. 218 (2420/2426/2428 Sooke Road), Bylaw No. 2052, 2025
4. Notice of Amending Bylaw

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- [City of Colwood - Home \(civicweb.net\)](http://civicweb.net)



City of Colwood STAFF REPORT

To: Planning and Land Use Committee
Date: April 7, 2025
From: Mairi Bosomworth, Senior Planner
RE: Rezoning Application RZ000014 for 2420, 2426, 2428 Sooke Road

RECOMMENDATION

THAT the Planning and Land Use Committee recommend to Council:

THAT the Colwood Land Use Bylaw No. 151, 1989, Amendment No. 218 (2420/2426/2428 Sooke Road), Bylaw No. 2052, 2024 be considered for 1st, 2nd and 3rd reading;

AND THAT prior to adoption of Bylaw No. 2052, approval be received by the Ministry of Transportation and Transit;

AND THAT prior to adoption of Bylaw No. 2052 a Section 107 Plan showing road dedication along Sooke Road to achieve a 30 m cross-section be submitted to the City of Colwood and/or the Ministry of Transportation and Transit for review and once approved be registered at the BC Land Titles Office;

AND THAT the Director of Development Service be authorized to grant the following variance at time of development permit:

THAT Section 6.12.06.1 of Land Use Bylaw No. 151 (TGA-1 Zone) be varied to reduce the minimum lot width from 60m to 55.08m

AND THAT Section 6.12.06.1 of Land Use Bylaw No. 151 (TGA-1 Zone) be varied to reduce the setbacks for the underground parkade from 3m to 0.3m on the east lot line, and from 3m to 2.06m on the front lot line

AND FURTHER THAT prior to adoption of Bylaw No. 2052, the following long-term conditions be registered within a Section 219 Covenant Development Agreement:

DELAYED CLEARING OF THE LANDS

The Owner covenants and agrees with the City that The lands shall not be cleared, blasted or built upon unless:

- An environmental development permit for the site has been issued and remains valid that addresses the timing and/or extent of land alteration and site clearing;
- An environmental development permit for the site has been issued and remains valid and either:
 - The City is in receipt of a building permit application for the site; or
 - The Director of Development Services provides written authorization to proceed with land alteration.

EXISTING SRW

1. The Owner shall decommission and remove SRW A71350 located on lots 2426 & 2428 Sooke Road and realign the storm pipe down Sooke Road of an adequate size, to connect to storm water manhole DMH0156. The Owner will confirm with the Ministry of Transportation and Transit that the realignment of the storm pipe through Ministry Right of Way is acceptable.

Prior to the issuance of a Development Permit:

RETAINING WALL TREATMENT

2. The Owner shall propose an appropriate treatment on the retaining wall, subject to approval from the Director of Development Services, particularly at the rear of the site to screen from adjacent single family residences and respect existing neighbourhoods.

Prior to the issuance of a Building Permit:

LOT CONSOLIDATION

3. The properties are consolidated into one legal lot and a plan of consolidation is filed with the BC Land Titles Office.

PARKING COVENANT

4. The Owner shall register a Section 219 covenant over the lands agreeing to allocate parking for each residential unit as required by applicable City of Colwood bylaws and ensure that the allocated residential parking is not provided in exchange for additional compensation separate from the rent received for each residential unit.

OFF-SITE WORKS

5. The Owner is required to facilitate the construction of frontage improvements on Sooke Road as required by applicable City of Colwood bylaws and policies and an accepted Traffic Impact Assessment. The Owner may fulfill this requirement through one of the following options, as determined and approved by the City: 1) Complete the frontage improvements via options identified in the Subdivision and Servicing Bylaw 2) Provide a cash contribution to the City of Colwood in lieu of completing the required frontage improvements as determined and approved by the City; or 3) A combination of cash-in-lieu and partial completion of frontage works as determined and approved by the City.

PATHWAY IMPROVEMENTS

6. The owner agrees to the following pathway improvements:
 - a. Install a 2m wide asphalt pathway from Veterans Memorial Parkway to Cecil Blogg Drive;
 - b. Replace the non-standard bike baffle barricades with a new top locking bollard standard that provides accessibility to all modes
 - c. Trim existing vegetation to 2.4m clear height

SUMMARY AND PURPOSE

The purpose of this report is to present Rezoning Application RZ000014 to Council. The applicant is requesting an amendment to the Land Use Bylaw to rezone the properties at 2420, 2426, and 2428 Sooke Road (**Figure 1**) from the Residential 1 (R1) Zone to the Transit Growth Area (TGA-1) Zone. This rezoning would allow for the construction of two six-storey apartment buildings containing a total of 171 units (**Appendix 1**). A letter of rationale from the applicant is included in **Appendix 2**.

The proposed development would provide market rental housing to meet a key area of need identified in the 2024 Housing Needs Report. The proposal aligns with the Transit Growth Area land use designation, which supports multi-unit buildings up to approximately six storeys (in limited situations) and a maximum Floor Area Ratio of about 2.5. While the site is also located within the Neighbourhood-Hillside designation, the priority is to accommodate the increased density necessary to support higher transit frequency and usage.

Figure 1: Subject Property Map



The applicant has assessed the site's natural assets through an Environmental Assessment (**Appendix 3**) and a Tree Management Plan (**Appendix 4**). These studies concluded that no key environmental features are present on the property. However, tree removal will need to take place to support increased density.

STRATEGIC PLAN AND RELATED POLICIES

Colwood Draft Strategic Plan 2024-2027

The proposal aligns with the Infrastructure and Wellness pathways of the Colwood Draft Strategic Plan 2024-2027.



Infrastructure Pathway

The Infrastructure pathway prioritizes the development of a well-integrated network of streets, sidewalks, trails, and cycling routes. This proposal aligns with that objective by facilitating the completion of the ultimate cross section for Sooke Road in front of the subject properties. To achieve this, the applicant is offering a road dedication to accommodate a 30-metre cross section for Sooke Road. Additionally, the proposal includes frontage enhancements, such as a new sidewalk, bike lane, and landscaped boulevard along the property's frontage. Furthermore, the applicant plans to improve pathways connecting the intersection of Sooke Road and Veterans Memorial Parkway to Cecil Blogg Drive, providing a direct link to Colwood Creek Park.



Wellness Pathway

The proposal supports the Wellness pathway by adding 171 new market rental units to Colwood, addressing a need identified in the 2024 Housing Needs Report. It also includes 17 three-bedroom units, providing housing options suitable for families.

Housing Needs Report (2024)

The Housing Needs Report highlights that Colwood has experienced persistently low vacancy rates and rising rental costs for over 15 years. In 2022, the rental vacancy rate was just 0.8%, indicating low availability of rental units. A healthy vacancy rate is typically between 3% and 5%, and rates below this range often lead to increased demand, excessive competition, and higher rental costs. According to the report, eight additional units would be required to raise the vacancy rate in Colwood to 3%, based on current market data.

This proposal not only meets but far exceeds the identified need for market rental housing, offering significant relief to the local housing demand. Additionally, the report forecasts a need for 1,562 new housing units in the next five years, and this proposal contributes meaningfully toward achieving that target.

BACKGROUND

Applicant Information

<u>Applicant/Owner:</u>	Invictus Commercial Invictus Corp.
<u>Address:</u>	2420/2426/2428 Sooke Road
<u>Legal:</u>	Lot 2, Plan VIP12634 Sec 77 Esq Dist Lot 3, Plan VIP12634 Sec 77 Esq Dist Lot B, Plan VIP45403 Sec 77 Esq Dist
<u>Current Zoning:</u>	Residential 1 (R1) Zone
<u>Proposed Zoning:</u>	<u>Transit Growth Area 1 Zone</u>
<u>Current OCP Designation:</u>	Transit Growth Area Neighbourhood-Hillside
<u>Proposed OCP Designation:</u>	No Change
<u>Development Permit Area:</u>	Form & Character DPA – Hillside and Shoreline Environmental DPA – Hillside Natural Hazard DPA – Steeply Sloped

APPLICATION REVIEW

1. Proposal

The applicant is seeking an amendment to Land Use Bylaw No. 151 to rezone the properties at 2420, 2426, and 2428 Sooke Road from the Residential 1 (R1) Zone to the Transit Growth Area (TGA-1) Zone. This rezoning would permit the development of two six-storey multi-family buildings with a total of 171 units. The proposed unit mix includes 18 studio units, 84 one-bedroom units, 52 two-bedroom units, and 17 three-bedroom units.

The building fronting Sooke Road is designed with ground-level units and is aligned with the corner intersection, creating opportunities to address and frame public streets (RZ2022-221). The secondary building, positioned at the rear of the properties, allows for the inclusion of an at-grade internal courtyard between the two buildings, promoting circulation and adhering to good urban design principles by screening parking from the street. Each unit is equipped with private outdoor space, and the proposal also includes a total of 111m² of indoor amenity space and 366m² of outdoor amenity space. Amenity areas are proposed to be located on the main floor and on the sixth level of each building.

Vehicle access is proposed from Sooke Road, with a shared parkade serving both buildings. The parkade features three levels of underground parking, and the applicant will meet all parking requirements.

The properties slope down towards Cecil Blogg Drive at the rear of the properties, presenting significant challenges for construction. To address this, the applicant has incorporated terraced retaining walls across the site, with a particular focus on the rear, while striving to meet the City's retaining wall height limit of 1.2m. During the development permit process, staff expect the applicant to propose types and treatments for the retaining walls to ensure they are effectively screened from nearby single-family neighborhoods.

As part of the application, the applicant is also requesting two variances:

- A reduction in the minimum lot width from 60m to 55.08m.
- A reduction in the underground parkade setback from 3m to 2.06m along the front lot line, and from 3m to 0.3m on the east side.

To streamline the process, staff are recommending that if Council supports this proposed development, Council authorizes staff to approve the requested variances at the time of the Development Permit.

2. Site Context

The subject property is located at the intersection of Veterans Memorial Parkway and Sooke Road as shown in **Figure 1**. The properties are currently each occupied by one single family dwelling and a number of accessory buildings. The properties slope down towards the rear with adjacent single family dwellings on Cecil Blogg Drive.

Table 1 summarizes the land uses and zones of properties adjacent to the subject property(s). It should be noted that while there is no proposal or active development application for the existing single-family dwellings to the west of the subject properties, these lots are designated by the Official Community Plan as Transit Growth and their current land use is expected to transition, over time, to more compatible residential and commercial uses. Properties adjacent the site are either occupied by single-family dwellings or have undergone recent rezoning applications to support increased growth along Sooke Road.

Table 1: Existing Zoning and Adjacent Parcel Uses

Parcel	Current Zoning	Existing Land Use	Proposed Land Use
North 745, 747 and 749 Cecil Blogg Drive	Residential 1 (R1)	Single family dwelling	--
East 2350 and 2356 Sooke Road	Comprehensive Development 33 (CD33)	2 Single family dwellings	1 Mixed-use Multi-family Building with Ground Floor Commercial Space
South 2403 Sooke Road 2415, 2419, 2421 Sooke Road	Comprehensive Development 36 (CD36) Residential 1 (R1)	Single family dwelling Single family dwelling and Duplex	3 Multi-family Buildings --
West 2430, 2432 Sooke Road + 3291, 3295 Marty Lane	Residential 1 (R1)	Single family dwellings	--

3. Land Use Bylaw No. 151

Table 2 compares the land use requirements under the existing Residential 1 (R1) zone, the proposed requirements for the Transit Growth Area (TGA-1) zone, and the specific details of this proposal. The TGA-1 zone was created to ensure consistent development along the Sooke Road corridor, requiring that all rezoning applications within the transit growth area align with this zoning. Applications for standalone comprehensive development zones will not be considered. However, variances from TGA-1 regulations may be supported where justified.

This proposal does not meet two TGA-1 regulations: lot frontage and the front and side setbacks for the underground parkade. While lot frontage is typically only important during subdivision, the change in land use from single-family to multi-family triggers the need to meet the zone's frontage requirements. The applicant has consolidated three properties and is within 5 meters of the prescribed frontage, which staff consider an acceptable deviation.

Regarding the underground parkade setbacks, the TGA-1 zone includes these requirements to prevent impacts on adjacent developments. In this case, the proposal seeks a reduced setback on the east side, adjacent to Ministry of Transportation and Transit lands. Staff support this request, as the reduced setback does not impact any adjacent development potential, given its adjacency to Veterans Memorial Parkway rather than a neighboring lot. There is a similar rationale to support a reduced front yard setback, given its adjacency to Sooke Road.

Table 2: Comparison of Current and Proposed Zoning

	Residential 1 Zone (Current)	TGA-1 Zone (Proposed)	Proposal	
			Building A	Building B
Lot Area	Min. 695 m ² (Single family dwelling) Min. 1,100 m ² (Two family dwelling)	Min. 4,000 m2	5,366.26m ²	
Lot frontage	Min. 16m	Min. 60 m	55.08m	
Lot Coverage	35%	50%	45%	
Permitted Uses	1-family dwelling & 2-family dwelling Group Home Use Home occupation Not more than 2 boarders or lodgers Accessory buildings & structures Secondary suite Accessory dwelling unit Show homes	Apartment	Apartment	
Density	Not to exceed 0.40 FAR	Not to exceed 2.5 FAR	2.47	
Height	Max. 8.5m	24 m	19.57m 18.4m	18.4m
Storeys	--	6 storeys	6 storeys	6 storeys
Building Setbacks				
Front	7.5 m	3 m to 6 m	3m	-
Rear (first 3 storeys)	7.5 m	7.5 m first 3 storeys (minimum)	-	7.52m
Rear (4 th storey and above)		10m (only when adjacent single family)	-	10.54m
Side (east)	1.5 m	4 m	4.01m	4.04m
Side (west) (first three storeys)		4m	8.86m	4.64m
Side (west) 4 th storey and above		7.5m (one when adjacent single family)	8.86m	7.68m
Setback for underground structured parking and parking ramps from any lot line	-	3 m (minimum)	Front	2.06m
			Rear	4.17m
			Side (east)	0.3m
			Side (west)	3.29m
Landscaping/Screening				
1. Where a lot line joins a public road a landscaped area of at least 1.5 m in width must be provided inside the property line; 2. A landscaped buffer area of at least 1.5 m in width and 2.0m in height must be provided along the inside of all property lines to separate parking areas from adjacent properties; 3. Whenever visible above finished grade from adjacent properties or public streets, loading areas, refuse removal areas and recycling containers must be screened by landscape or solid decorative fence or combination thereof; and 4. All mechanical, electrical, and other service equipment located outside or on the roof of a building must be screened from adjacent properties and streets by ornamental structures, landscaping, or other means.				

4. Official Community Plan (OCP) Bylaw No. 1700

Land Use Policies

The subject property is located on lands designated Transit Growth Area in Section 7 of the Official Community Plan (OCP). The Transit Growth Area land use designation supports low to mid-scale, multi-unit residential uses at densities that support transit use along Sooke Road. **Table 3** describes the OCP objectives for the land use designation and how the proposal aligns with those objectives.

Table 3: Compliance of Proposed Development with OCP Policies

Transit Growth Area OCP Policy		Proposal	Staff Comment
Land Uses Policy 7.2.23	<ul style="list-style-type: none"> Multi-unit residential Live/work and home occupations Institutional Limited commercial and mixed-use, on a case-by-case basis 	Multi-unit residential	Policy met
Built Form Policy 7.2.24.a	Ground-oriented and low-rise buildings up to approximately 4 storeys and up to 6 storeys in limited situations when enhanced urban design mitigates impact of additional vertical impact	The proposal includes two 6-storey buildings with increased setbacks on upper floors, when adjacent single family uses. The buildings are oriented in a way to activate the frontage along Sooke Road, creating corner elements at the intersection of Sooke Road and Veterans Memorial Parkway. By orienting the building along Sooke Road, this allows above ground parking and access to the parkade to be screened within the interior courtyard.	Policy met
Density Policy 7.2.24.b	Floor area ratio (FAR) up to approximately 2.5	The applicant is proposing a FAR of 2.47.	Policy met
Policy 7.2.25 (a)	Providing access to and support for frequent transit, as part of the Transit Growth Area shown on Figure 8: Land Use	Proposed density and residential uses will provide future residents and visitors access to and support for frequent transit on Sooke Road.	Policy met
Policy 7.2.25 (b)	Sensitively increasing density while providing a gentle transition in scale to existing predominantly single-detached residential areas, as illustrated in the “Scale Transition” diagram in this sub-section.	The proposed density is consistent with other proposals along Sooke Road	Policy met
Policy 7.2.25 (c)	Improving the public realm for pedestrians and transit users, with sidewalk amenities and improved transit facilities.	Frontage improvements will be installed on Sooke Road in accordance with the Transportation Master Plan and recommendations in the approved traffic impact study, including sidewalks, bike lanes, and landscaped boulevards.	Policy met
Policy 7.2.25 (d)	Creating and maintaining a high degree of permeability – including walking connections – with adjacent residential	The applicant will be installing frontage improvements along Sooke Road, which will help maintain the high	Policy met

Transit Growth Area OCP Policy		Proposal	Staff Comment
	areas leading to/from the frequent transit service.	degree of permeability between the adjacent properties on the west with the frequent transit service on Sooke Road.	
Policy 7.2.25 (e)	Enabling limited small-scale, neighbourhood-serving retail uses where there is a demand and where they do not compromise the viability of established centres and other commercial areas.	Proposal does not consider retail uses.	Not applicable
Policy 7.2.25 (f)	Designing buildings, public open spaces, and transportation networks to protect natural assets, consistent with site adaptive policies in Section 11: Park Areas and Natural Assets.	No environmental features were identified on the site (excluding trees)	Policy not met

Housing Policies

In addition to the land use policies in Section 7 of the OCP, the proposal also meets the following housing policy in Section 9 as it is likely to offer rental housing near transit:

- Policy 9.2.2.2: “Co-locate non-market, rental, and special needs housing with transit and other amenities to enable accessibility, while ensuring that these housing types are distributed throughout the city and integrated into diverse neighbourhoods”

Environmental Assessment

The proposed development is classified as a hillside site, requiring a site-adaptive planning process. To support the rezoning application, the applicant engaged a qualified environmental professional to conduct an environmental analysis. This process involved identifying the site’s key systems and features, producing a site analysis, and developing a planning rationale to guide construction in areas with the least constraints. The analysis found no significant natural features or ecological sensitivities on the site, such as wildlife trees, surface water features, or species and ecological communities at risk.

Recommendations to minimize environmental impacts are outlined in the Site Adaptive Planning Approach (**Appendix 5**). Key measures include replanting native vegetation, removing invasive species, timing vegetation removal to account for wildlife, and implementing erosion and sediment control strategies. These steps aim to ensure responsible and sustainable development.

Tree Inventory

The current Tree Management Plan (**Appendix 4**) has identified the need to remove 54 bylaw protected trees within influencing distance of the proposed development. This does not align with the Hillside Objective 19.1.s and Guideline 22.1.l for conserving and minimizing disruption of mature trees.

However, the applicant is planning to provide a cash deposit in lieu of replacing the required replacement trees in accordance with the Urban Forest Bylaw No. 1735.

Staff recommend a condition in the development agreement, that prohibits land clearing (including tree removal) on development sites in an environmental development permit area until either: 1) The City has

issued an environmental development permit and remains valid that addresses the timing and/or extent of land alteration and site clearing or 2) An environmental development permit has been issued and either the City is in receipt of a building permit or the Director of Development Services authorizes to proceed with land alteration.

5. Off-Site Works

Road Dedication

Road dedication along Sooke Road will be secured as part of this rezoning application. The width and design of Sooke Road is currently being revisited as part of an update to the City's Transportation Master Plan. In May 2022, the Transportation Committee considered several options for the long-term cross section for the Sooke Road Corridor and at that time, the Transportation Committee recommended a 30-metre right-of-way. In October 2023, staff brought forward a recommendation that Council direct staff toward achieving a 30-metre right of way along Sooke Road and select an option for the preferred long-term cross-section of Sooke Road. Council referred the item to the Infrastructure and Active Transportation Committees.

Staff understand that Council has not yet endorsed the ultimate cross section for Sooke Road, and that further consideration is required at the Committee and Council tables. However, the applicant's proposed road dedication aligns with the 30-metre right-of-way, which is consistent with the road dedication that was/is being secured on adjacent lands, including 2346 Sooke Road, 2350/56 Sooke Road, 2330 Sooke Road, and 2324 Sooke Road amongst others.

The staff recommendation requires that road be dedicated to allow the City to achieve a 30-metre road right-of-way prior to scheduling adoption of the amending bylaw.

Frontage Improvements

Frontage improvements along the property's frontage must be provided (or secured for) through the development process in accordance with the City of Colwood's Subdivision Servicing Bylaw No. 2000 and Transportation Master Plan. Both documents are amended from time to time to reflect current and future transportation needs of the community, including road expansion, transit, and active transportation considerations. As mentioned in the section above, the Transportation Master Plan is currently being updated and will determine a new cross-section for Sooke Road (e.g., laning, boulevard widths, sidewalks).

Considering this, staff are recommending a more flexible approach to securing frontage improvements on Sooke Road in order to account for the unknowns with respect to the City's preferred cross-section. This is captured within the development agreement conditions. The City will expect to see some of the works constructed such as sidewalk and underground servicing. Other works may have to be installed in an interim location due to the anticipated intersections changes by the Ministry of Transportation and Transit.

Pathway Improvements

An informal path currently exists at the intersection of Sooke Road and Veterans Memorial Parkway, connecting Cecil Blogg Drive and extending further to Colwood Creek Park. As part of this application, the applicant will enhance the pathway by constructing a formal 2m-wide path, replacing the existing barricades with standardized ones, and trimming the surrounding vegetation.

6. Traffic Impact Assessment

The applicant has commissioned Bunt & Associates to review and provide comment on the surrounding road network and related intersections. The report has been accepted by the Engineering department.

7. Site Servicing

The site can be serviced by municipal water. Sewer is available on Sooke Road. A civil, lighting, off-site landscape and irrigation, stormwater management plan and sewer and design drawings will be required prior to Building Permit issuance. The applicant is aware that water and sanitary capacity will need to be confirmed during the design stage, in advance of Building Permit consideration so the works can be available for connection. Further, the removal of the storm water pipe located within SRW A71350 will require the realignment of the storm pipe down Sooke Road of an adequate size (to be confirmed by the applicants Engineer and accepted by the City) and connect to the storm water manhole DMH0156 located on Veterans Memorial Parkway (VMP). The applicant is to confirm there is adequate capacity for the inlet pipe crossing under VMP entering DMH0156 to receive the realigned storm system. Prior to removal of the existing pipe the applicant will also have the Ministry of Transportation and Transit confirm that realignment of the storm pipe through Ministry Right of Way is acceptable.

8. Building And Life Safety

All upgrades necessary to serve the development are the responsibility of the developer. A Fire Underwriters Survey (FUS) report would be required if the development proceeds to the development permit stage and is required prior to Building Permit approval.

9. Community Amenity Contributions

The Community Amenity Contributions (CAC) Policy COM002 and Attainable Housing Policy ATT001 are considered at the time of a rezoning application with respect to increased residential density. These amounts have been embedded into the Land Use Bylaw for the TGA-1 zone. See **Table 4**.

Table 4: Preliminary Summary of Developer Contributions

Contributions by Type	Rate per unit	Total	Bylaw/Policy Reference
CAC Fund	\$4,500*/unit	\$769,500	Policy COM 003 as amended
Affordable Housing Reserve Fund	\$1,500*/unit	\$256,500	Policy COM 003 as amended
Fire Hall Fund	\$583*/unit	\$99,693	Council resolution
School DCCs (payable to SD62)	\$600/unit	\$102,600	CRD Bylaw No. 2019-01
Road DCCs	\$4,949.11/unit	\$846,297.81	Bylaw No. 1836
Water DCCs (payable to CRD)	\$1,644/unit	\$281,124	CRD Bylaw No. 2758
Sewer enhancement fees	\$1,178/unit	\$201,438	Bylaw No. 1500
Park Acquisition	\$1,578.64/unit	\$269,947.44	Bylaw No. 2037
Park Improvement	\$1,631.55	\$278,995.05	Bylaw 1900
Total contributions		\$3,106,095.3	

* Subject to annual CPI increases

10. Legal Encumbrances

The SRW registered on title of 2428 Sooke Road, will be required to be removed from the title once the Storm SRW is realigned along Sooke Road. If approved, a Section 219 covenant for the long-term Development Agreement conditions will be registered prior to adoption.

11. Public engagement

As required by Development Application Consultation Policy DEC 001, the applicant contacted nearby residents to inform them of their development proposal. A summary of the applicant's engagement summary is included in **Appendix 6**.

OPTIONS / ALTERNATIVES

The Planning and Land Use Committee may wish to consider recommending to Council one of the following options:

OPTION 1 - Staff recommendation.

OR

OPTION 2 - That the application be deferred for further information.

OR

OPTION 3 - That the application be denied.

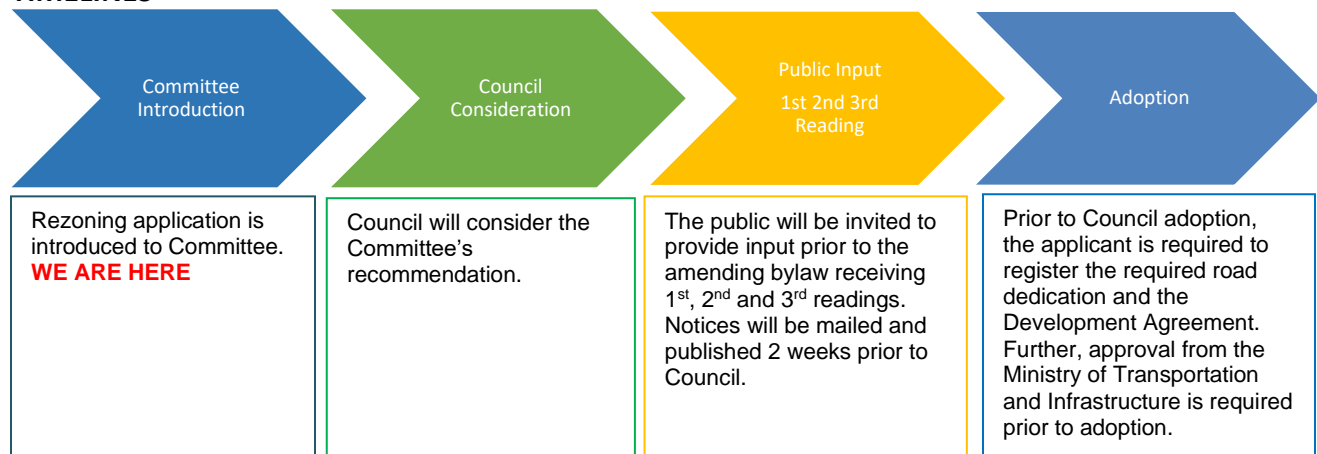
OR

OPTION 4 - Another option as selected by the Committee.

COMMUNICATIONS

A development notification sign was posted on the subject property as required under the Land Use Application Procedures Bylaw No. 427. The application and supporting documents will be available for public viewing on the City's website during the weeks leading up to first reading of an amending bylaw. Further, prior to first reading, the City will mail postcard notices to owners and occupants within a 100-meter radius of the subject property and post notice on the City's website and in two consecutive issues of a local newspaper.

TIMELINES



FINANCIAL CONSIDERATION

Rezoning the subject property to permit a higher density of development will increase the assessed value of the lands, thus increasing its taxable value. **Table 4** provides a preliminary estimate of the developer contributions for the proposed 171 apartment units.

CLIMATE CONSIDERATIONS

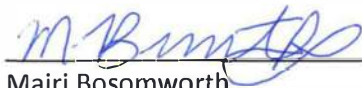
Under Pathway 3: Building and Infrastructure, the Climate Action Plan (2023) envisions that buildings in Colwood will be built for zero emissions and climate resilience. An action to achieve this is to continue reducing the carbon footprint of new buildings through the application of BC Energy Step Code in accordance with the provincial target for all new buildings to be net-zero energy-ready by 2032. The provincial timelines indicate that the target for all Part 3 buildings (e.g., multi-unit residential, commercial) to achieve Step 3 is by 2027. On December 11, 2023, Colwood Council passed a resolution (R2023-409) to move toward adoption of Zero Carbon Step Code in 2024. With this amendment, all Part 3 buildings must be designed to meet Step 4 (the “zero carbon performance”) by July 1, 2024, or November 1, 2024, depending on the building’s height and classification. application for a building permit is received before these dates, however, the building must be designed and If an constructed to meet Step 3. The applicant has indicated they will meet Step 4.

CONCLUSION

The proposal meets the policy objectives of the Transit Growth Area land use designation as well as the City’s broader OCP goals of increasing housing choices that meets a range of needs and lifestyles as emphasized in the Housing Needs Assessment. Committee may wish to recommend to Council that they endorse the staff recommendation.

Respectfully submitted,

Reviewed By:



Mairi Bosomworth
Senior Planner



Yazmin Hernandez
Director of Development Services

ADMINISTRATORS COMMENTS:

I have read the report and endorse the recommendation.


Jason Johnson

Chief Administrative Officer

Attachments:

APPENDIX 1: Architectural Plans

APPENDIX 2: Letter of Rationale

APPENDIX 3: Environmental Assessment

APPENDIX 4: Tree Management Plan

APPENDIX 5: Site Adaptive Planning Rationale

APPENDIX 6: Applicant-Led Neighbourhood Consultation Summary

APPENDIX 7: Bylaw No. 2052

SOOKE MULTI-FAMILY

COLWOOD, B.C.

PROJECT # 23026

CIVIC ADDRESS: 2428, 2426 & 2420 SOOKE ROAD, COLWOOD, B.C.
LEGAL ADDRESS: LOT 2-3 PLAN 12634 & LOT B PLAN 45403 OF SECTION 77, ESQUIMALT DISTRICT

RE-ISSUED FOR REZONING PERMIT 24 JANUARY, 2025

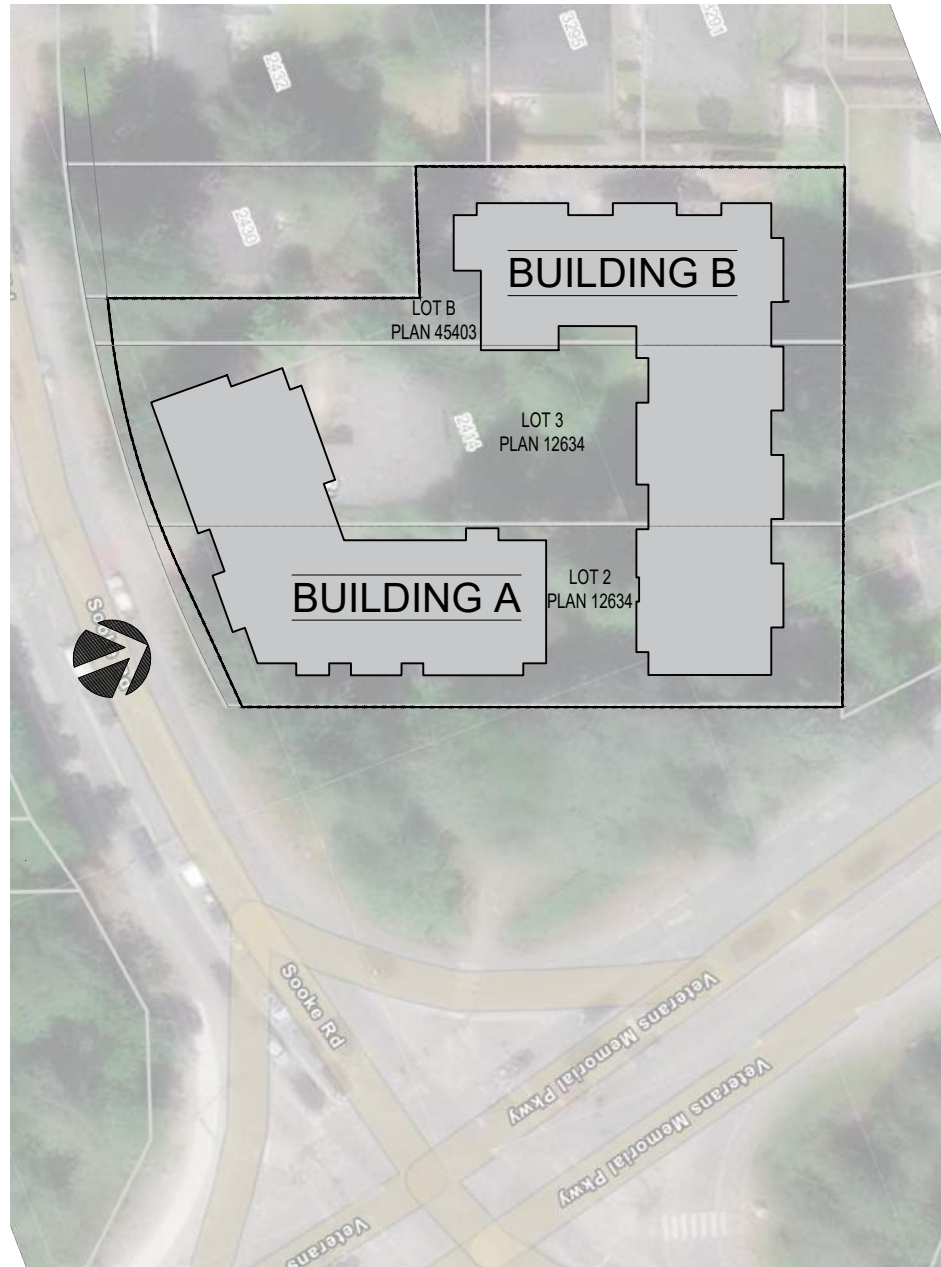


1 RENDER

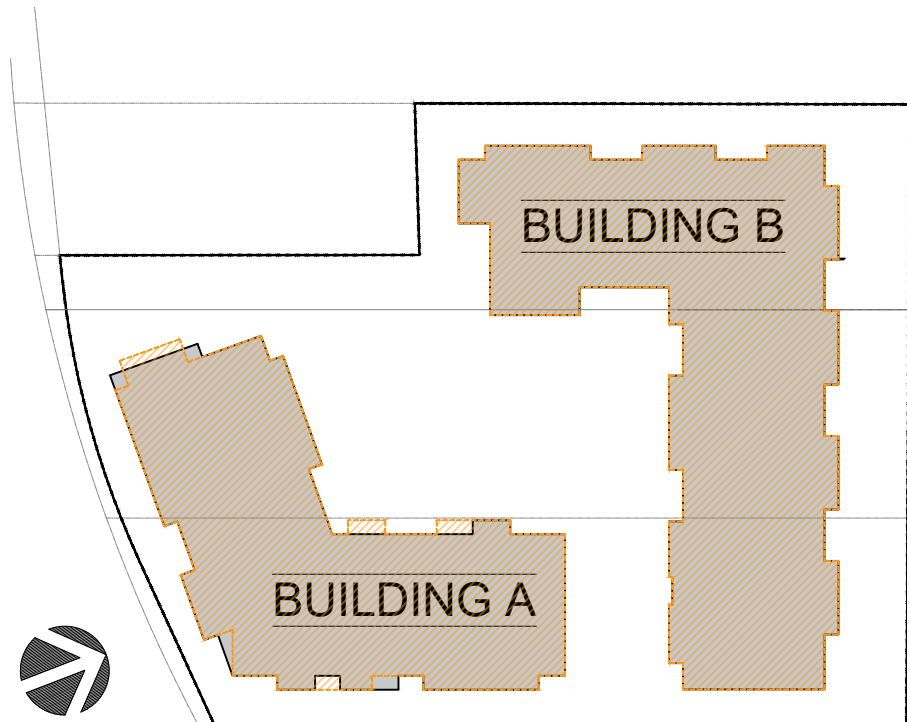
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A001	EXISTING SURVEY	A207	FLOOR PLANS	
A050	RENDERS	A300	ELEVATIONS	
A051	RENDERS	A301	ELEVATIONS	
A052	RENDERS	A400	SECTIONS	
A100	SITE PLAN			
A200	FLOOR PLANS			
A201	FLOOR PLANS			
A202	FLOOR PLANS			
A203	FLOOR PLANS			
A204	FLOOR PLANS			
A205	FLOOR PLANS			

PROJECT TEAM:

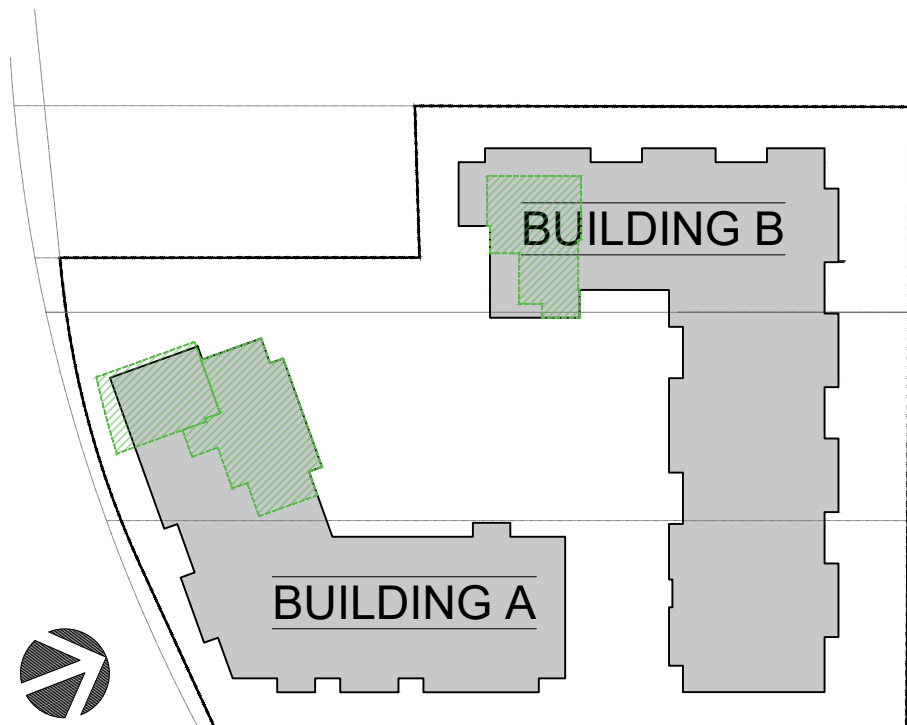
<p>CLIENT: INVICTUS COMMERCIAL INVESTMENT 605 DOUGLAS STREET VICTORIA, BC, V8V 2P9 TEL.: 778.350.2620 CONTACT: DOUG FOORD</p>	<p>SURVEYOR: V.I. POWELL & ASSOCIATES 250-2950 DOUGLAS STEET VICTORIA, BC, V8T 4N4 TEL: 250.382.8855 CONTACT: SCOTT PEARSE</p>	
<p>ARCHITECT: WA ARCHITECTS LTD. SUITE 950-1500 W GEORGIA STREET, VANCOUVER, B.C. TEL.: 604.685.3529 CONTACT: DAVID ECHAIZ-MCGRATH ARTURO ENRIQUEZ</p>	<p>TRAFFIC: BUNT & ASSOCIATES ENGINEERING SUITE 1550-1050 WEST PENDER ST VANCOUVER, B.C., V6E 3S7 TEL: 604.685.6427 CONTACT: TEGWEN ATKINSON TYLER THOMSON</p>	
<p>CIVIL ENGINEERING: MCELHANNEY SUITE 500, 3960 QUADRA STREET VICTORIA, BC, V8X 4A3 TEL: 250.370.3895 CONTACT: NATHAN DUNLOP</p>	<p>ARBORIST: CONCRETE JUNGLE FORESTRY LTD TEL: 250.652.8764 CONTACT: DONALD R. SKINNER</p>	



2 CONTEXT PLAN



3 LOT COVERAGE



4 USABLE OPEN SPACE

REVISION NO.		2		3 lot option		DATE:		17-Jan-25		
SITE INFORMATION										
LEGAL DESCRIPTION		Lot B, Plan 45403 & Lot 2-3, Plan 12634, Section 77, Esquimalt District								
CIVIC ADDRESS		2428, 2428 AND 2420 SOOKE ROAD, CITY OF COLWOOD, BC								
				REQ'D (metric)		EXISTING (metric)		EXISTING (imperial)		
SITE LOT WIDTH *				60.00 m		55.08 m		592.87 ft		
SITE AREA (ft²) **				4,000.00 m²		5,366.26 m²		57,761.88 ft²		
FLOOR AREA RATIO										
FAR-SCHEME 4		FLOOR AREA (SF)		FLOOR AREA EXCLUSIONS (SF)				TOTAL SF PER LEVEL		
		AUXILIARY AREAS ABOVE GRADE	RESIDENTIAL AREA	AUXILIARY AREAS UNDERGROUND	PARKING AREA	AMENITY	Garbage & recycling underground	Storage underground		
Parkade 2&3		-	-	1,369.88	26,951.38	-	-	-	28,321.04 ft²	
Parkade 1		-	-	2,102.57	38,174.51	-	1,040.72	2,303.50	43,621.30 m²	
L1 (ground floor)		9,603.06	16,202.00	-	-	-	-	-	25,805.06 m²	
L2 (second floor)		4,077.78	20,918.00	-	-	-	-	-	24,995.78 m²	
L3 (third floor)		3,824.80	22,174.00	-	-	-	-	-	26,998.80 m²	
L4 (4th floor)		3,824.80	19,244.00	-	-	-	-	-	23,068.80 m²	
L5 (fifth floor)		3,824.80	19,244.00	-	-	-	-	-	23,068.80 m²	
L6 (sixth floor)		3,630.33	15,322.00	-	-	5,128.21	-	-	24,078.54 m²	
TOTAL SF		28,785.58	113,104.00	3,472.25	65,125.86	5,128.21	1,040.72	2,303.50		
TOTAL GFA SF		141,889.58								
PROJECT DATA		BYLAW REFERENCE	DESCRIPTION		SUGGESTED FOR RZ		PROPOSED (metric)		PROPOSED (imperial)	
ZONING		Bylaw 1989 - 6.12					TGA1			
DENSITY		Bylaw 1989 - 6.12.06.1, Table 1			2.50 FAR		2.46 FAR			
FLOOR AREA (gross)		Bylaw 1989 - 6.12.06.1, Table 1			N/A		13,182 m²		141,890 ft²	
BUILDING AREA - (Horizontal Projection)		Bylaw 1989 - 6.12.06.1, Table 1					2,436 m²		26,224 ft²	
SITE COVERAGE		Bylaw 1989 - 6.12.06.1, Table 1			50%				45%	
USABLE OPEN SPACE		Bylaw 1989 - 6.12.06.1, Table 1			5%				7%	
BUILDING HEIGHT		Bylaw 1989 - 6.12.06.1, Table 1	Mid-rise apartment can be the lesser of 6 storeys or 24m		6 storey		6 storey			
		SETBACKS								
			FRONT (SOOKE ROAD)		3m min-6m max		BLDG A		BLDG B	
			REAR		7.6m		-		10.60 ft	
			SIDE (EAST) ***		4m		4.01 m		7.52 m	
			SIDE (WEST)		4m		8.86 m		4.04 m	
			FRONT (SOOKE ROAD)		3m min-6m max		3.00 m		4.64 m	
			REAR		4m		10.54 m		9.84 ft	
			SIDE (EAST) ***		4m		4.01 m		4.04 m	
			SIDE (WEST)		7.5m		8.86 m		7.68 m	
			FRONT (SOOKE ROAD)		3 m		2.06 m		6.76 ft	
			REAR		3 m		13.68 ft			
			SIDE (EAST)		3 m		0.30m		0.98ft	
			SIDE (WEST)		3 m		3.29 m		10.79 ft	
BUILDING DATA										
UNIT TYPES		DESCRIPTION	GROSS AREA (ft²)	# OF UNITS		COMBINED (m²)		COMBINED (ft²)		
				BLDG A	BLDG B	BLDG A	BLDG B	BLDG A	BLDG B	
UNIT A1		Studio	345 ft²	18	0	577 m²	0 m²	6,210 ft²	0 ft²	
UNIT C1		1 Bed + Den	584 ft²	7	43	380 m²	2,333 m²	4,088 ft²	25,112 ft²	
UNIT C2		1 Bed + Den	584 ft²	0	21	0 m²	1,139 m²	0 ft²	12,264 ft²	
UNIT C2a		1 Bed + Den	613 ft²	0	3	0 m²	171 m²	0 ft²	1,839 ft²	
UNIT C3		1 Bed + Den	745 ft²	6	0	415 m²	0 m²	4,470 ft²	0 ft²	
UNIT C4		1 Bed + Den	582 ft²	4	0	216 m²	0 m²	2,328 ft²	0 ft²	
UNIT D1		2 Bed + 2 Bath	794 ft²	31	12	2,287 m²	885 m²	24,514 ft²	9,528 ft²	
UNIT D1a		2 Bed + 2 Bath	811 ft²	0	6	0 m²	452 m²	0 ft²	4,866 ft²	
UNIT D2		2 Bed + 2 Bath	854 ft²	0	3	0 m²	238 m²	0 ft²	2,562 ft²	
UNIT F1		3 Bed + 2 Bath	908 ft²	0	3	0 m²	253 m²	0 ft²	2,718 ft²	
UNIT F1a		3 Bed + 2 Bath	908 ft²	4	0	337 m²	0 m²	3,632 ft²	0 ft²	
UNIT F2		3 Bed + 2 Bath	932 ft²	4	0	346 m²	0 m²	3,728 ft²	0 ft²	
UNIT F3		3 Bed + 2 Bath	873 ft²	0	3	0 m²	243 m²	0 ft²	2,619 ft²	
UNIT F4		3 Bed + 2 Bath	942 ft²	0	3	0 m²	235 m²	0 ft²	2,526 ft²	
		Total units per building		74	97	4,559 m²	5,949 m²	49,070 ft²	64,034 ft²	
TOTAL UNITS		(Saleable Area)		171		10,508 m²		113,104 ft²		
UNIT MIX		# OF UNITS				% OF UNITS				
STUDIO/MICRO						18				11%
1 BEDROOM						84				49%
2 BEDROOM 2 BATH						52				30%
3 BEDROOM 2 BATH						17				10%
TOTAL UNITS						171				100%
AMENITY AREA		COMBINED PROPOSED (m²)				COMBINED PROPOSED (ft²)				
INDOOR						111 m²				1,190 ft²
OUTDOOR						366 m²				3,936 ft²
TOTAL AMENITY						476 m²				5,126 ft²
PARKING DATA (RESIDENTIAL)		BYLAW REFERENCE	DESCRIPTION		REQUIRED		PROPOSED			
REGULAR CAR STALLS										
		Bylaw 1909 - 3.1, Table1 Urban Centre	0.8 per bachelor/studio dwelling unit		14 stalls min.		197 stalls			
			1.0 per one-bedroom dwelling unit		54 stalls min.					
			1.3 per two-bedroom dwelling unit		68 stalls min.					
			1.5 per greater than two-bedroom unit		26 stalls min.					
VISITOR CAR STALLS										
		Bylaw 1909 - 3.5.1,	0.15 parking spaced per dwelling unit		26 stalls min.		26 stalls			
TOTAL CAR PARKING MARKET OWNERSHIP*						218 stalls min.		223 stalls		
OTHER REQUIREMENTS (INCLUDED IN TOTAL)										
SMALL CAR		Bylaw 1909 - 3.3,	max 30% of the total parking requirement		65 stalls max.		31 stalls			
ACCESSIBLE STALL		Bylaw 1909 - 3.4.3 Table 2	151 + spaces required: One additional accessible parking space for each additional 50 total parking spaces required		4 stalls		4 stalls			
LOADING STALL		Bylaw 1909 - 4.1.1 Table 4	1 loading stall required if more than 10 units		1 stalls		1 stalls			
EV READY		All parking spaces for apartments (excluding visitor) will be EV ready		197 stalls		197 stalls				
BICYCLE PARKING		BYLAW REFERENCE	DESCRIPTION		REQUIRED		PROPOSED			
LONG TERM BICYCLE STALLS		Bylaw 1909 - 5.1.1 Table 5	1.0 per dwelling unit < 60m2 (646 sf)		78 stalls		78 stalls			
			1.25 per dwelling unit >60m2 (646 sf)		185 stalls		200 stalls			
TOTAL BIKE STALLS REQUIRED					283 stalls		278 stalls			
		Bylaw 1909 - 5.1.1 Table 5	12 short term bike stalls required per building		12 stalls		12 stalls			
VARIANCE SUMMARY		BYLAW REFERENCE	DESCRIPTION		REQUIRED		PROPOSED			
Site Lot Width		Bylaw 1989 - 6.12.06.1, Table 1			60.00 m		55.08 m			
Setback BLDG A (Garage)		Bylaw 1989 - 8.12.06.1, Table 1			SIDE (WEST)		3.00 m		0.31 m	
					SIDE (EAST)		3.00 m		1.31 m	

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OWNER/CLIENT:



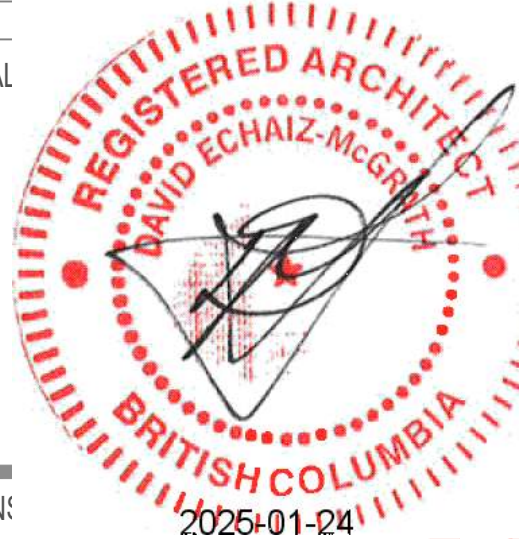
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3	RZN RE-SUBMISSION	2025/01/24
2	RZN RE-SUBMISSION	2024/11/22
1	RZN SUBMISSION	2024/07/05

NO.

SEA



CON

WA
ARCHITECTS

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PROJECT NAME

SOOKE MULTI-FAMILY

PROJECT ADDRESS:

2428, 2426 & 2420 SOOKE RD, COLWOOD, B.C

DRAWING TITLE

COVER PAGE

PROJECT NO: 23026

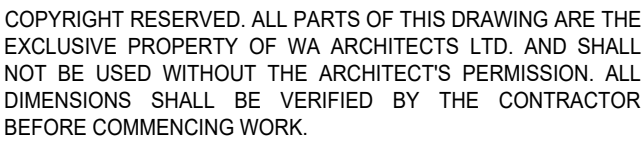
SCALE:

SCALE:
DWG NO

DRAWN BY: TW

REVIEW BY: AF

A000



OWNER/CLIENT:

SEAI

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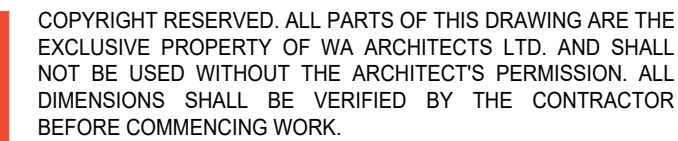
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PROJECT NO: 23026 DRAWN BY: TW
SCALE: REVIEW BY: AE
DWG NO: **A050**

RENDER

A050

N.T.S



OWNER/CLIENT:

SEAL

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PROJECT ADDRESS:
2428, 2426 & 2420 SOOKE RD, COLWOOD, B.C.

DRAWING TITLE:

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SCALE: REVIEW BY: AE

DWG NO: **A051**

A051	N.T.S
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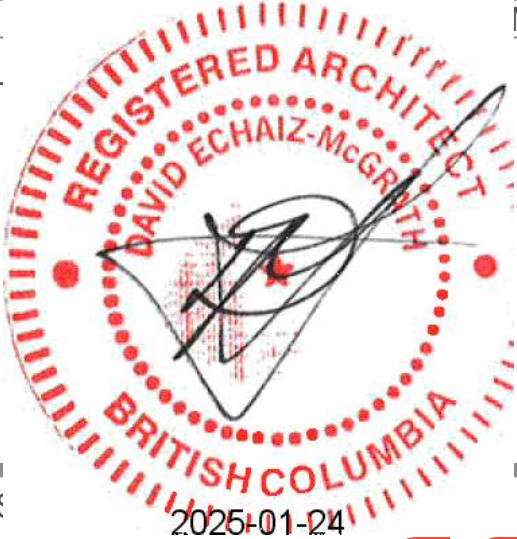
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GENERAL NOTES:

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SEAL



CON:

IWA ARCHITECTS

PROJECT NAME:

SOOKE MULTI-FAMILY

PROJECT ADDRESS:

2428, 2426 & 2420 SOOKE RD, COLWOOD, B.C.

DRAWING TITLE:

RENDERS

PROJECT NO: 23026

DRAWN BY: TW

SCALE:

REVIEW BY: AE

DWG NO:

A053



1

RENDER

A05

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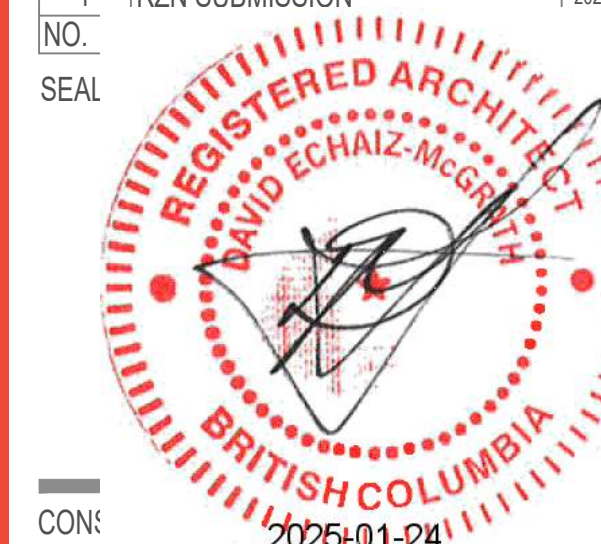
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OWNER/CLIENT:



GENERAL NOTES:

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CON:

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PROJECT NAME

SOOKE MULTI-FAMILY

PROJECT ADDRESS

PROJECT ADDRESS:
2428, 2426 & 2420 SOOKE RD, COLWOOD, B.C.

DRAWING TITLE

SITE PLAN

PROJECT NO: 23026

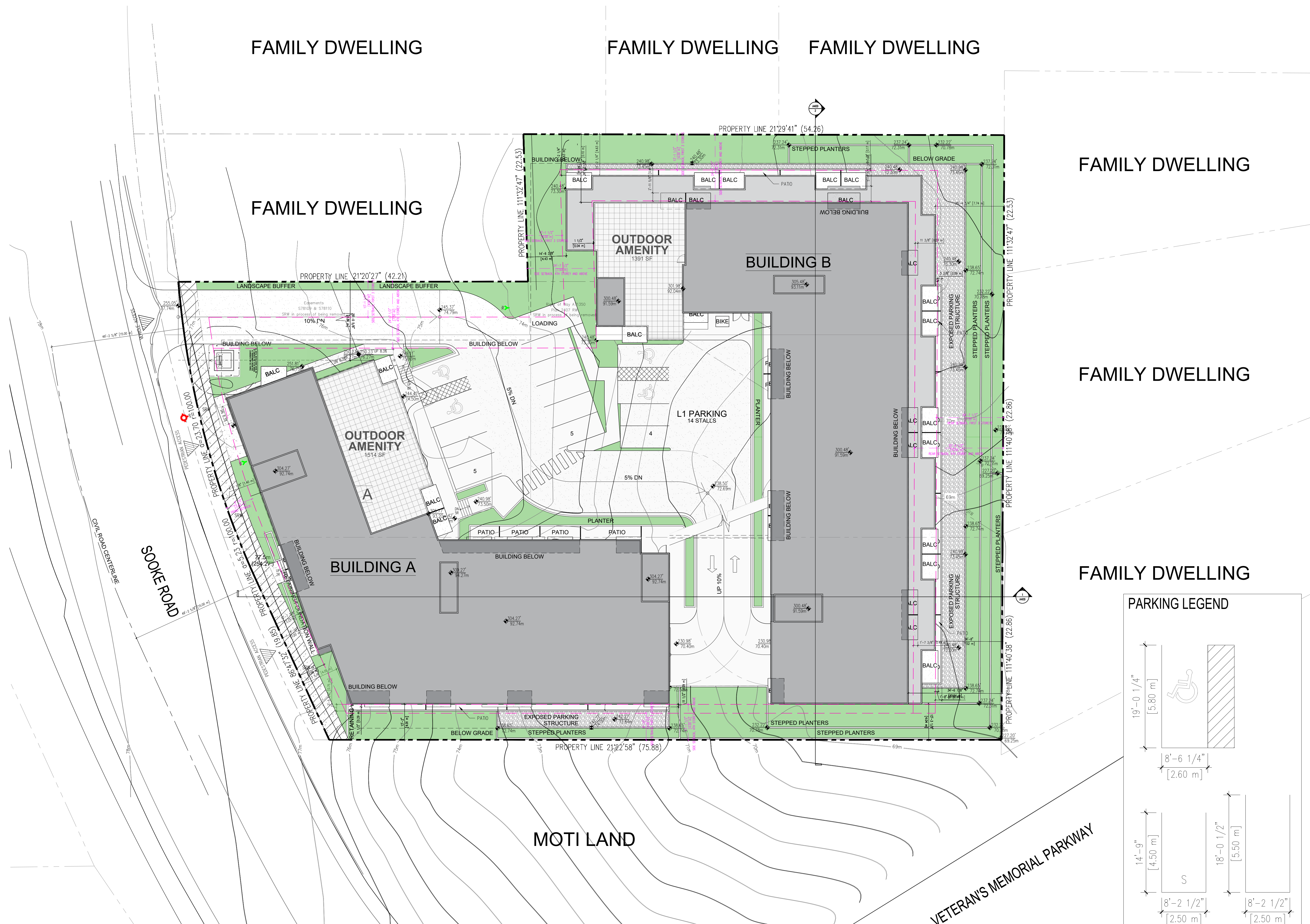
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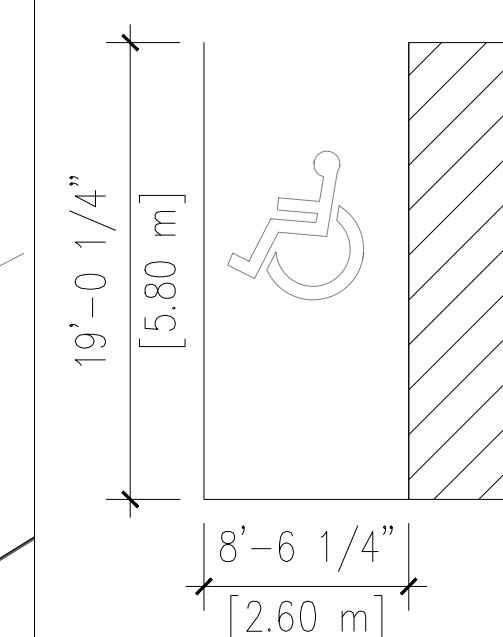
A100



1 SITE PLAN


A100 $1/16'' = 1'-0''$

PARKING LEGEND

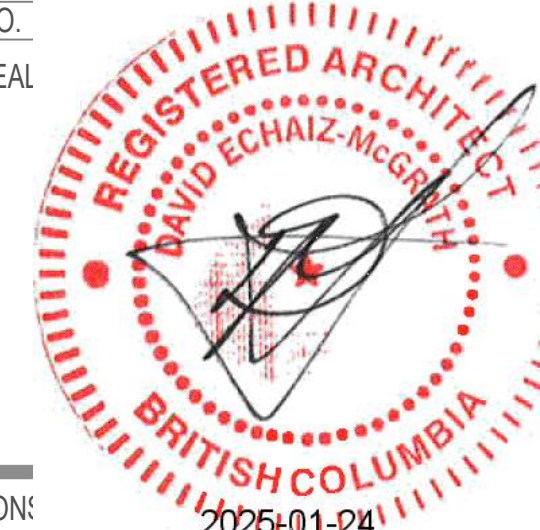


2 PARKING LEGEND

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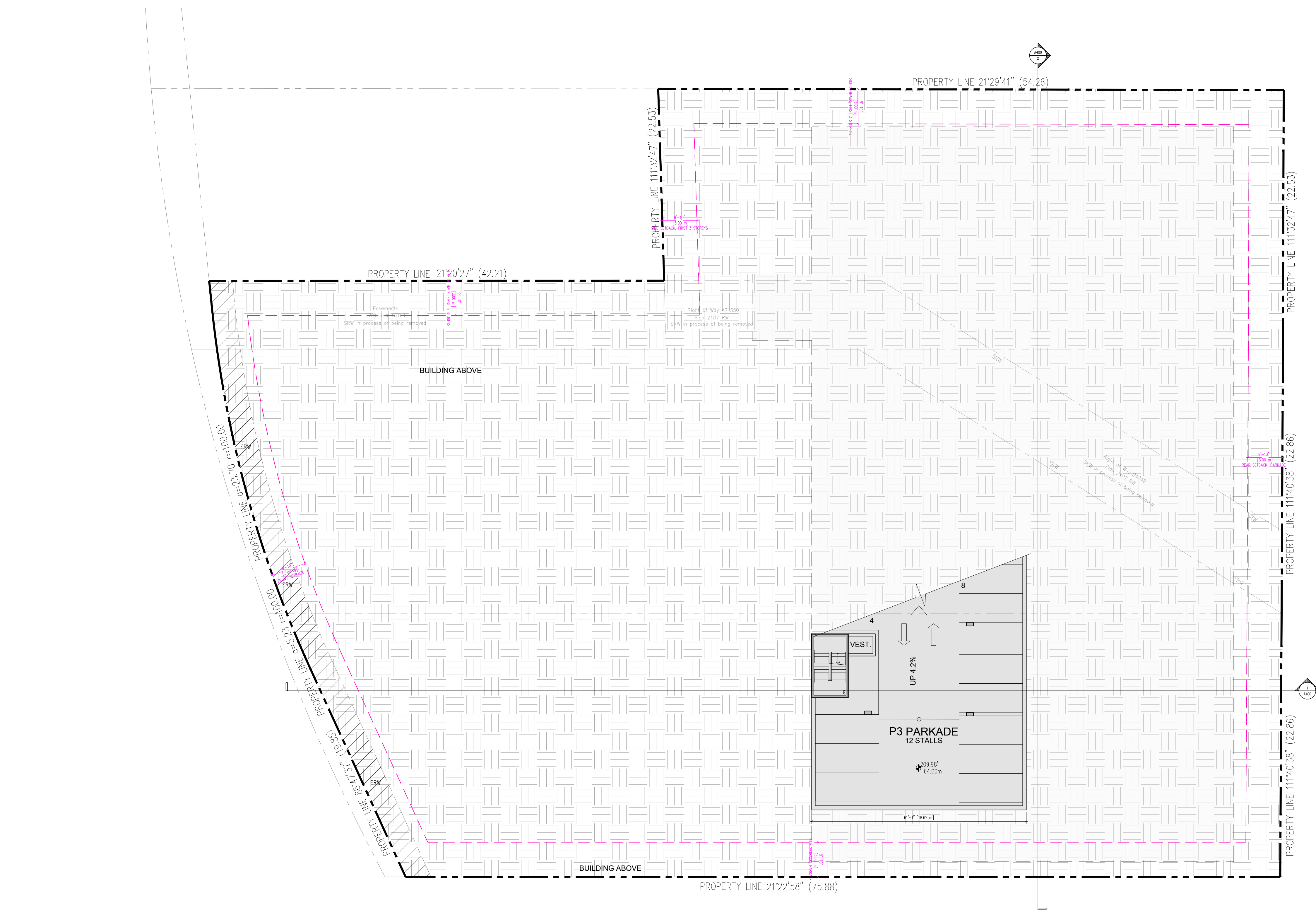
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LWA ARCHITECTS

A200



1

LEVEL P3

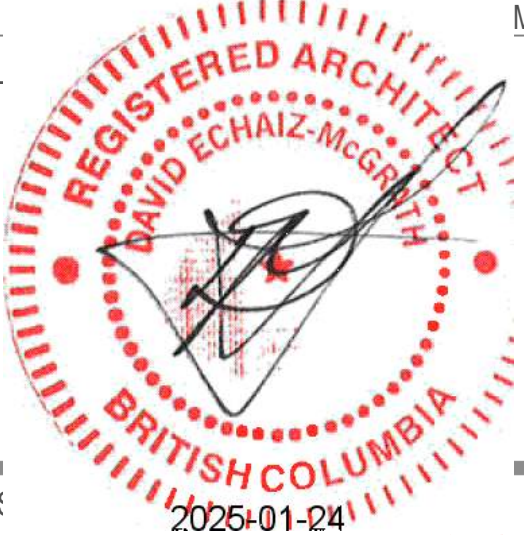
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NO.  M/D

SEAL



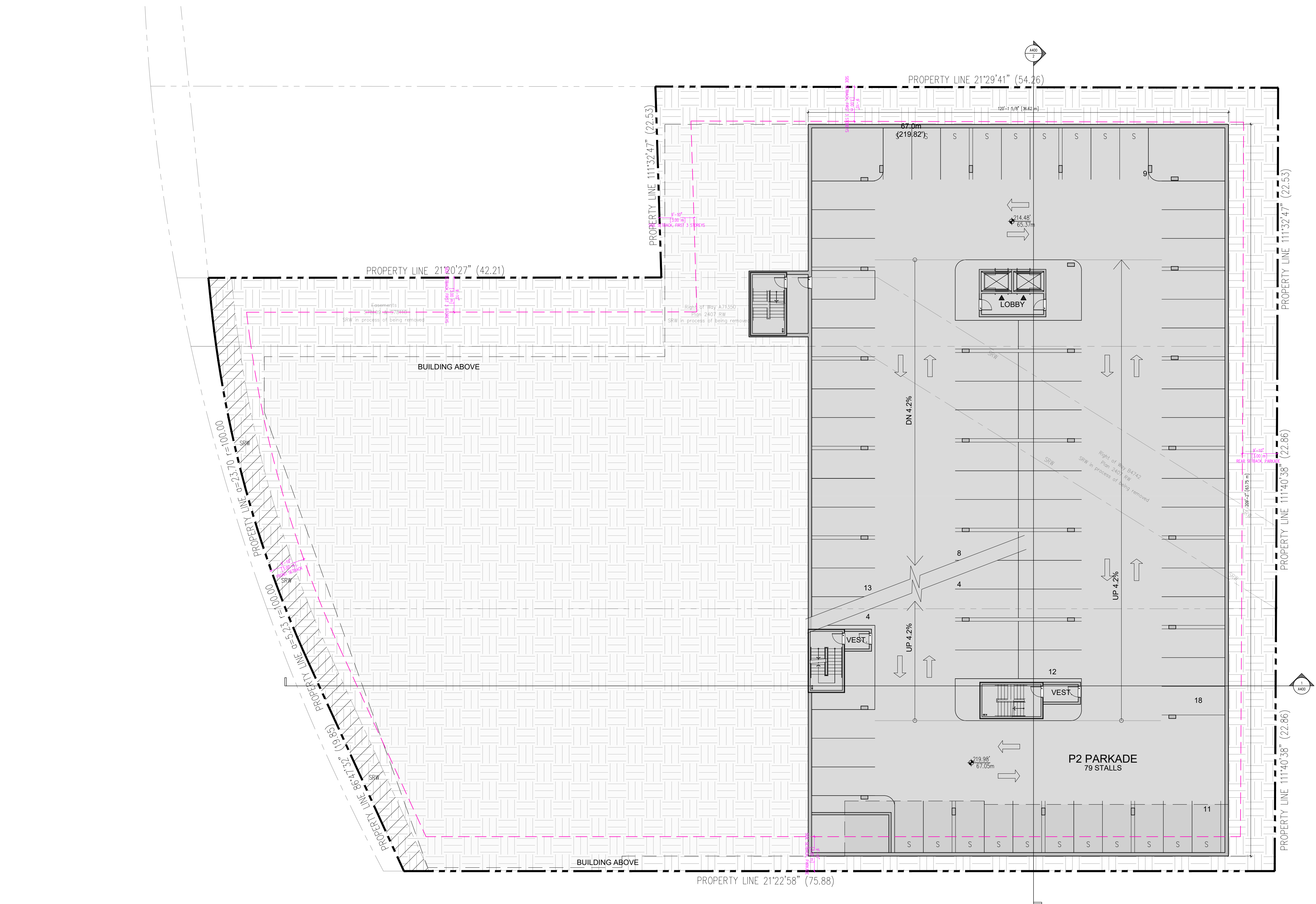
2025-01-24

IWA ARCHITECTS

SOOKE MULTI-FAMILY


FLOOR PLANS

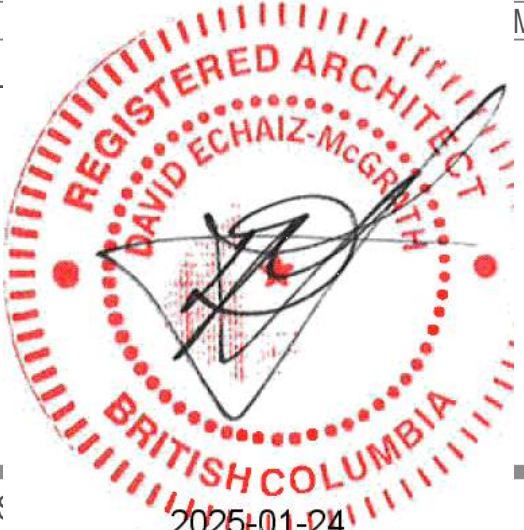
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LEVEL P2

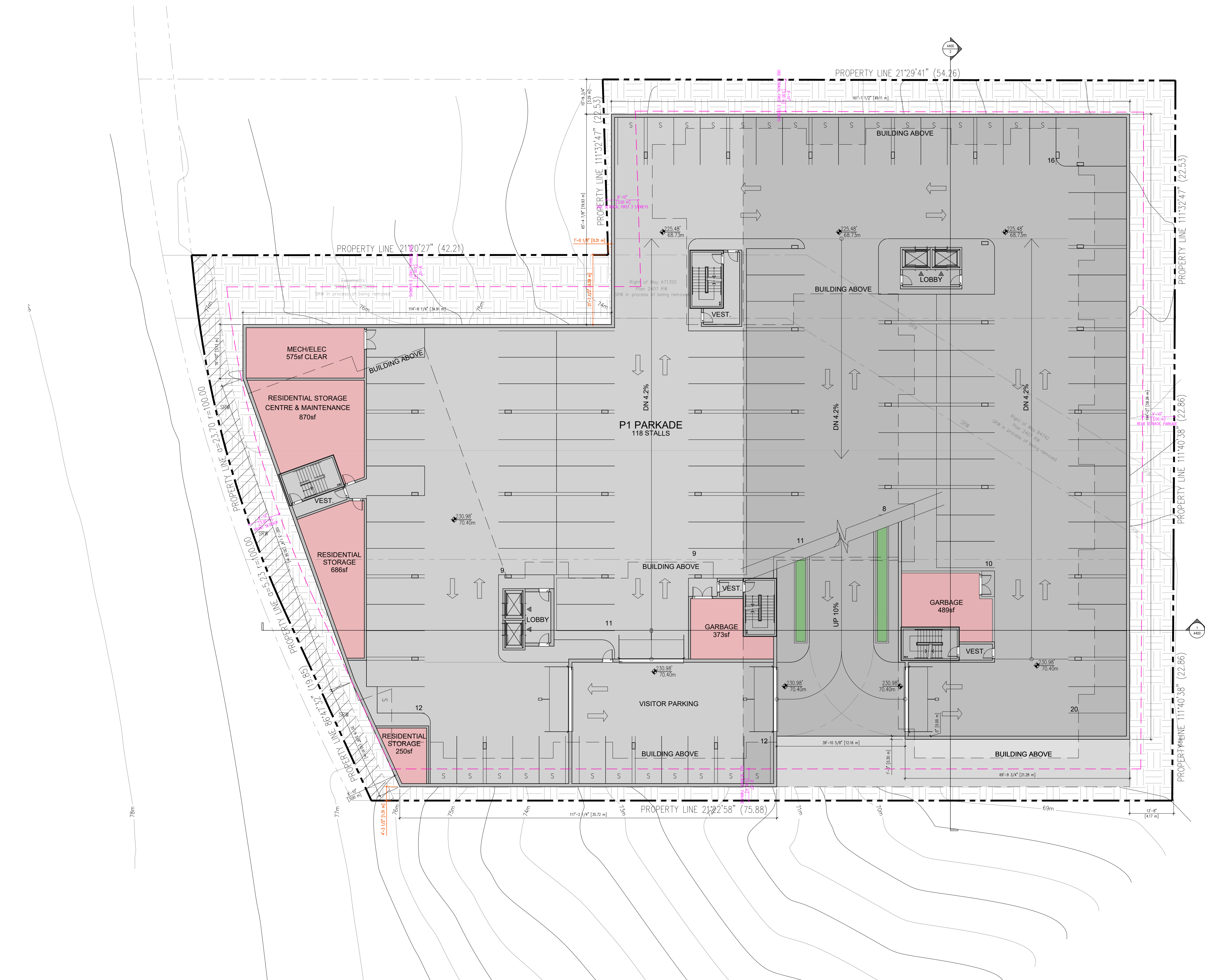
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[illegible]SEAL

WA ARCHITECTS

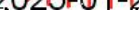
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A 000



1 LEVEL P1
A202 1/16" = 1'-0"

CON:

DWG NO:

CONSE

DWG NO:

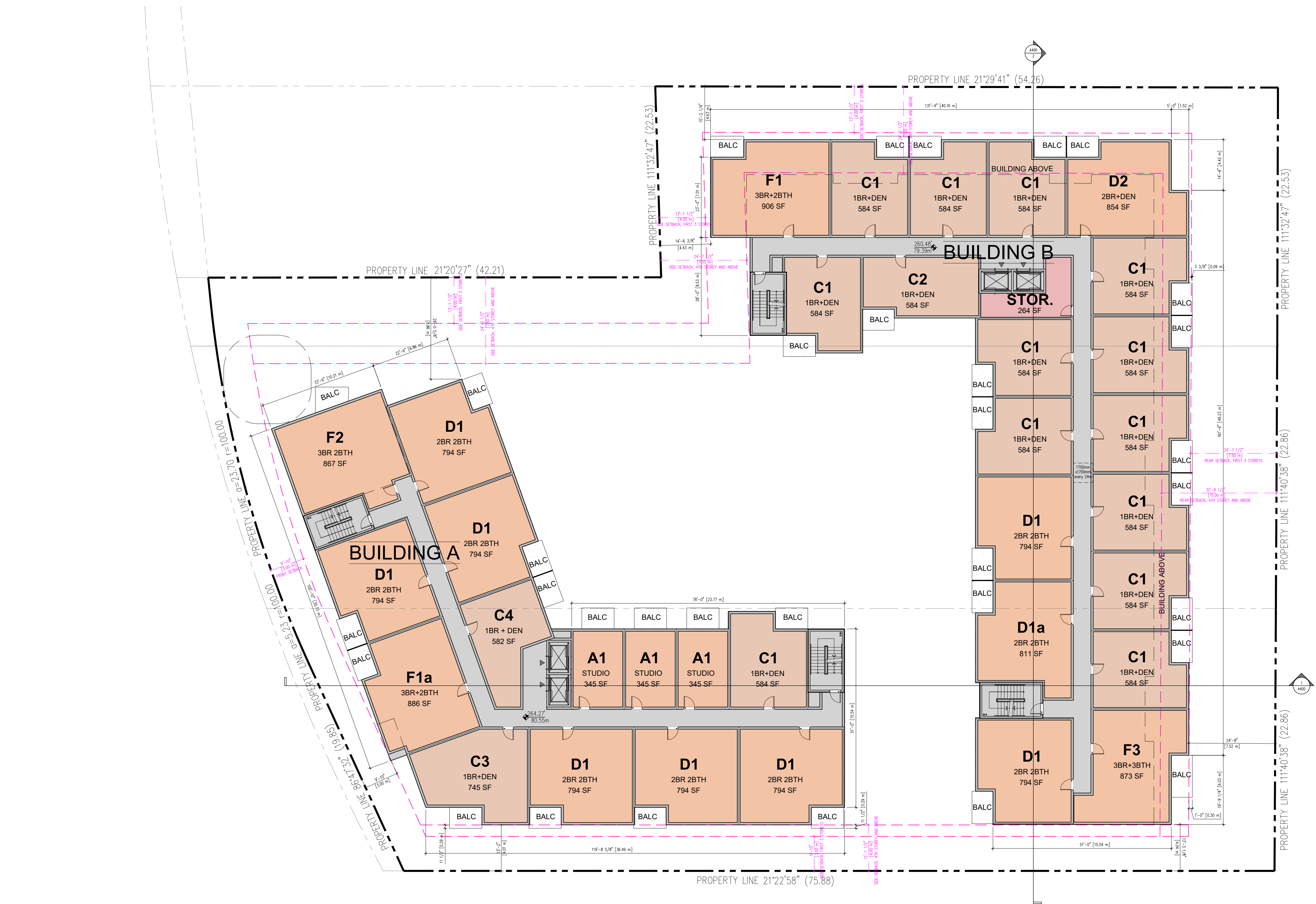
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NO.

SEAL

IWA ARCHITECTS

AE
A205



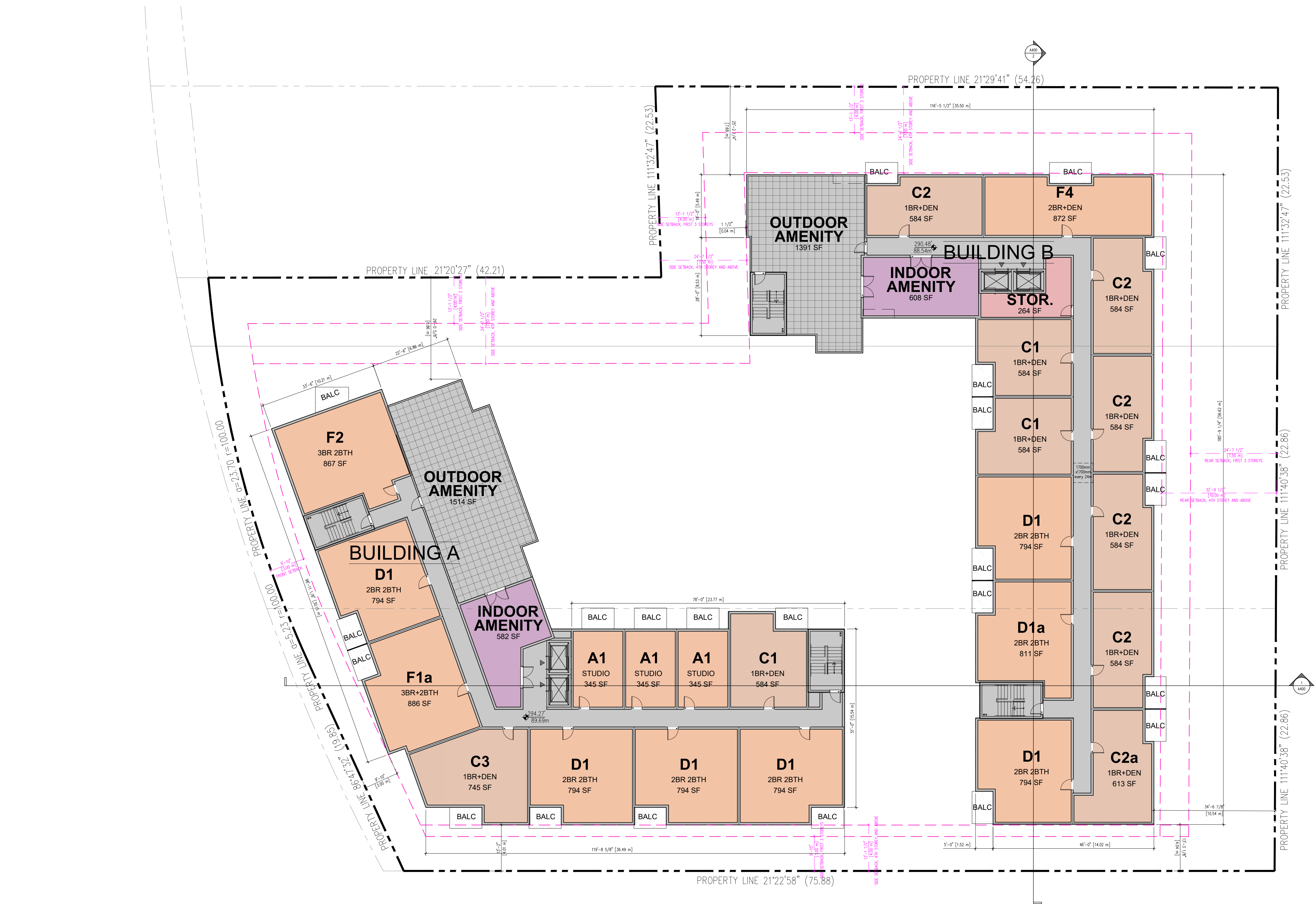
LEVEL 3

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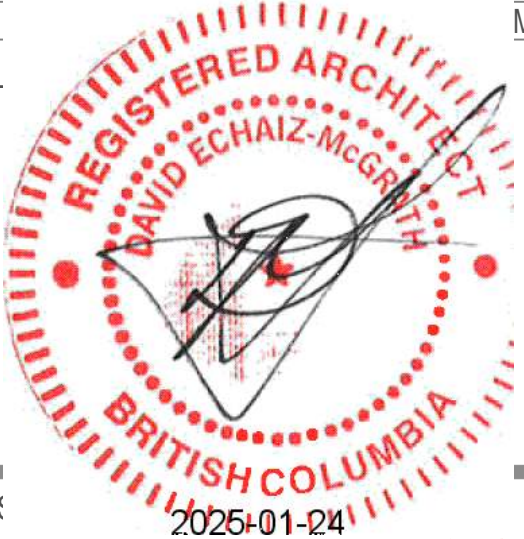
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SEAL

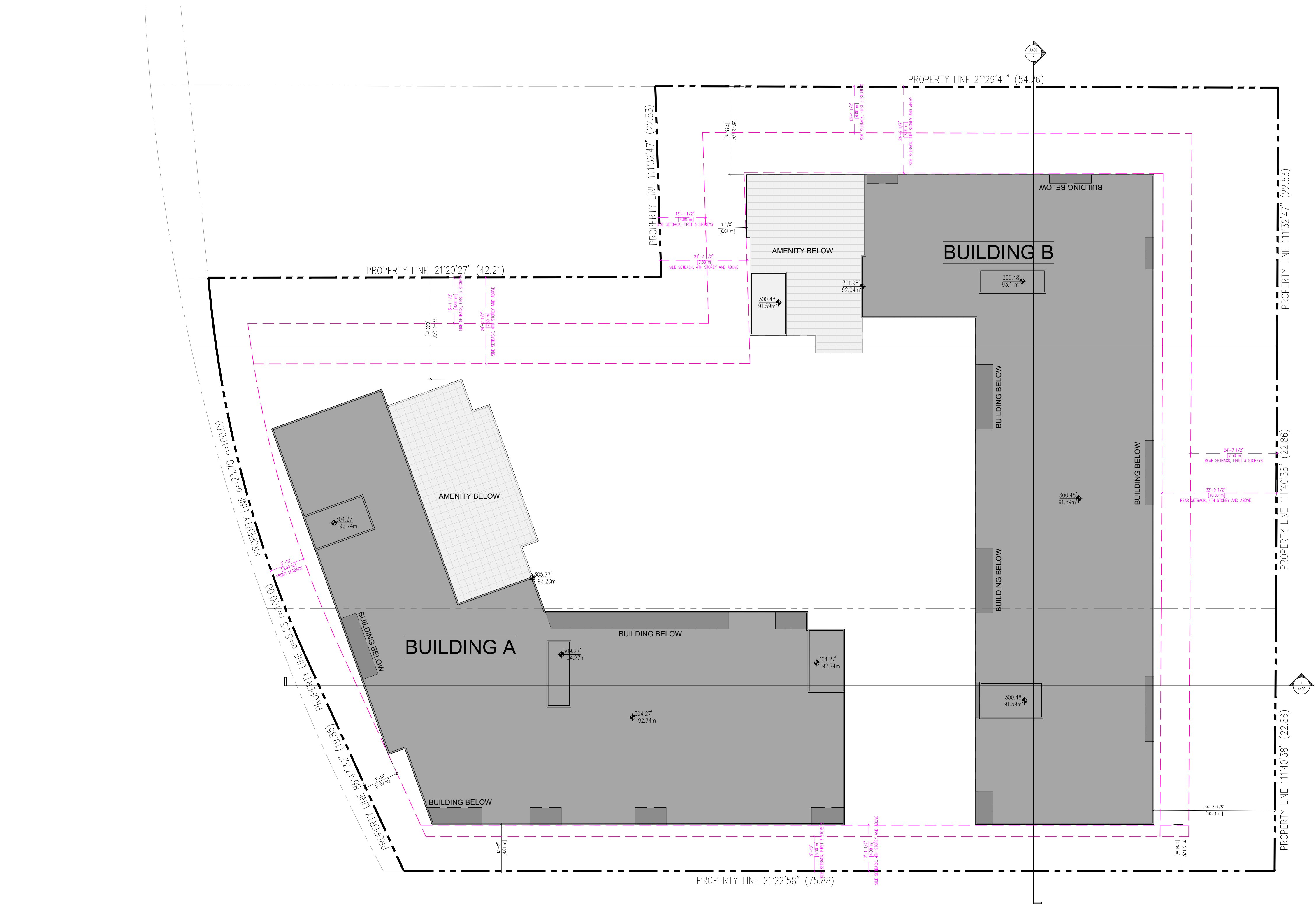


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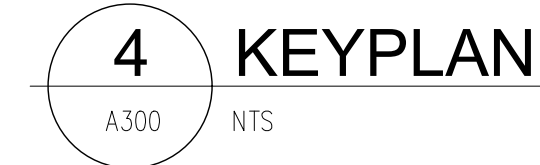
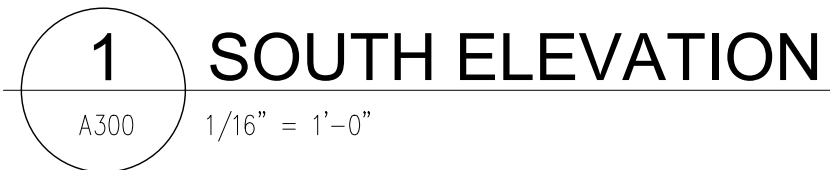
FLOOR PLANS

A208



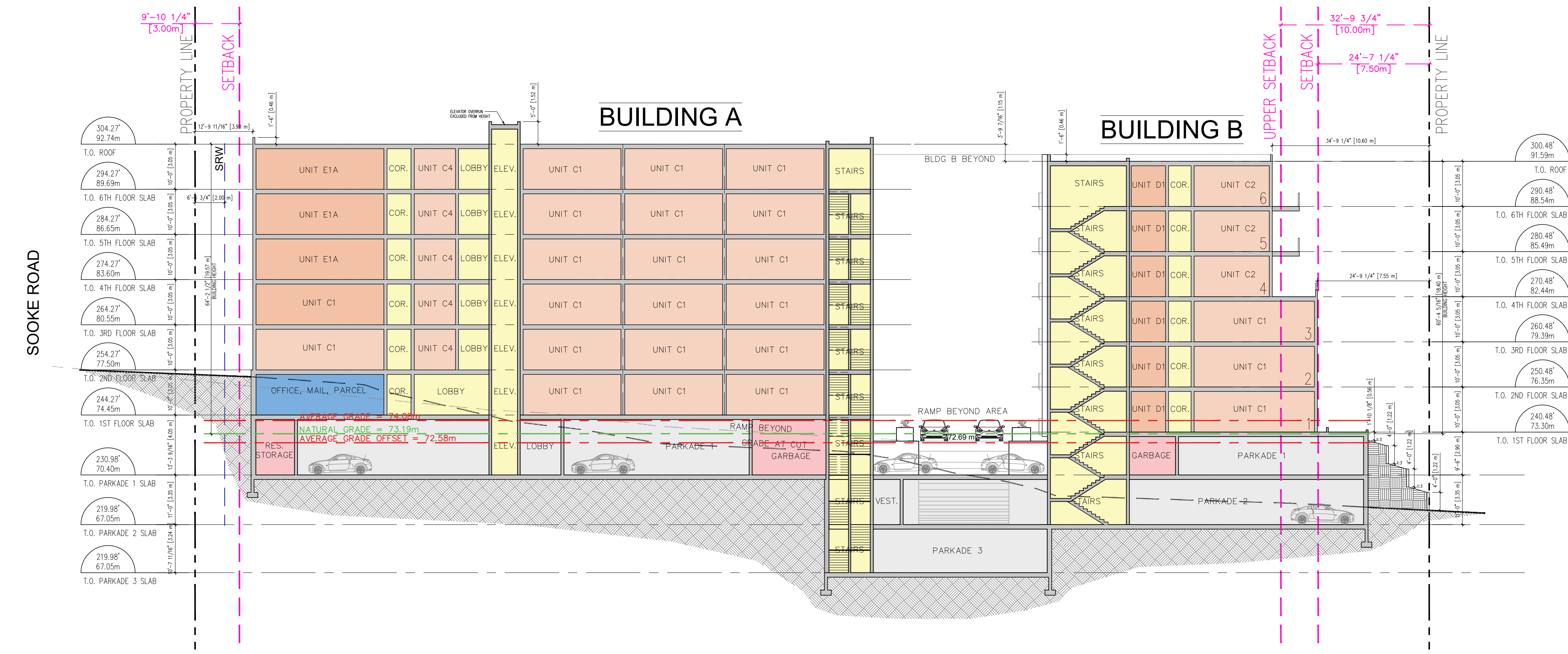
ROOF PLAN

$$1/16'' = 1'-0''$$

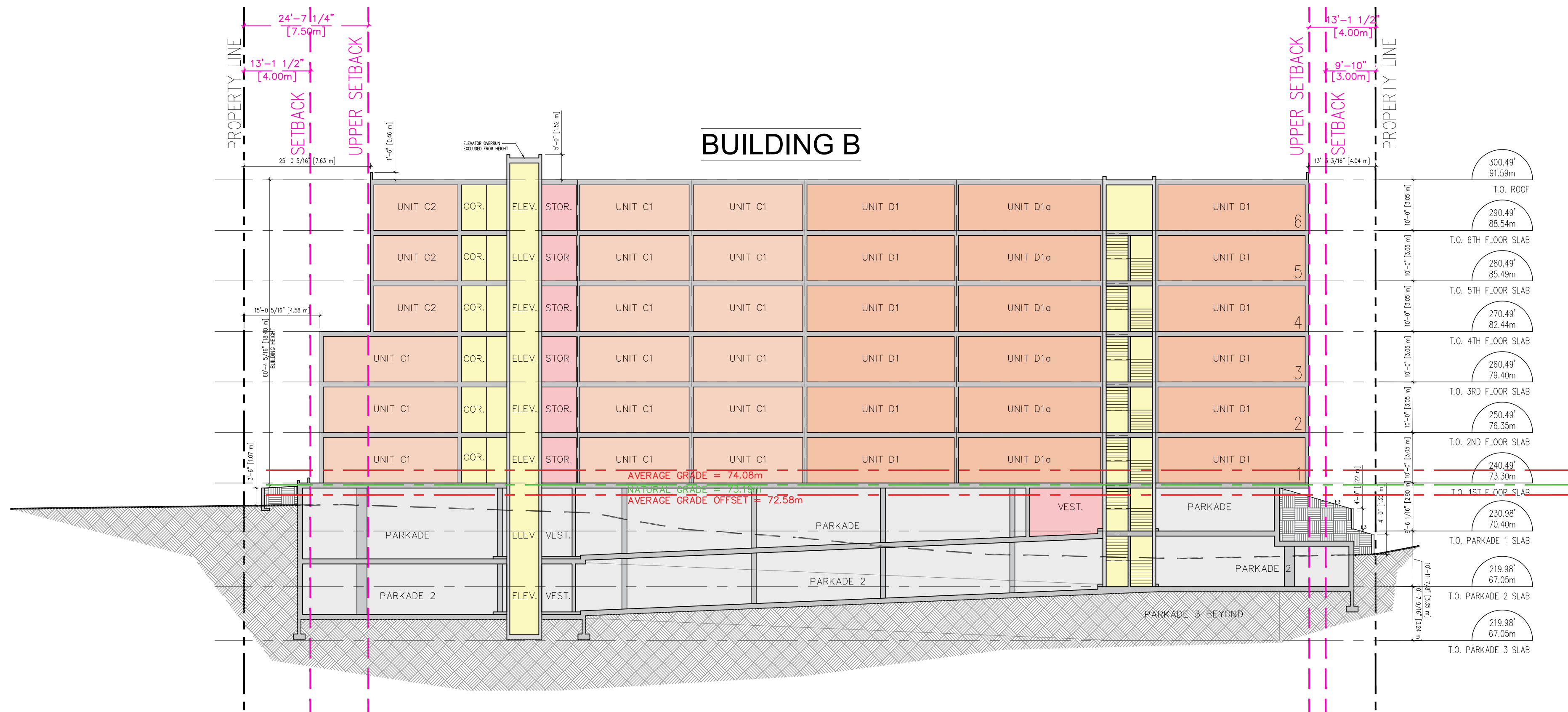


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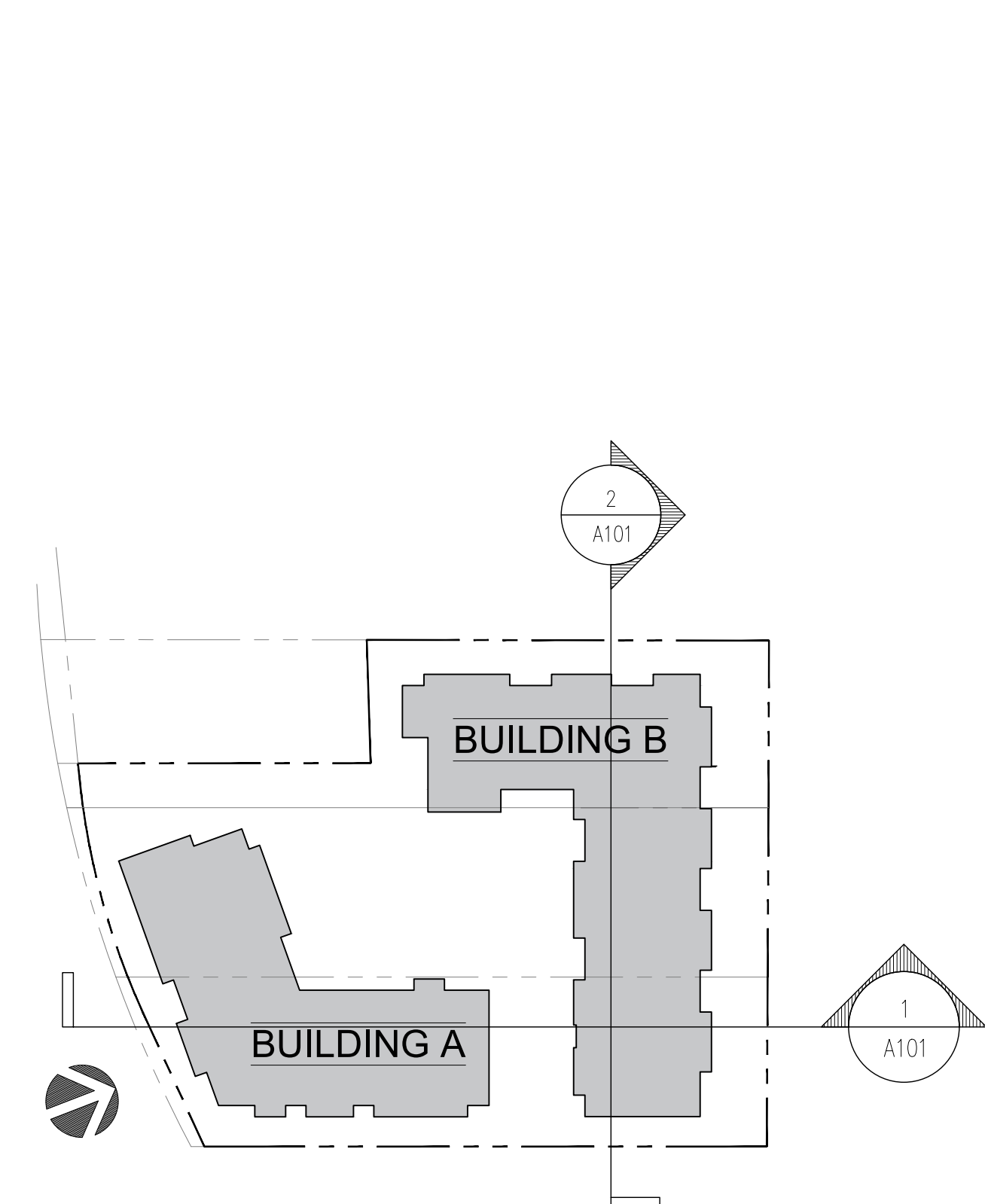
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1 SECTION
A400 1/16" = 1'-0"



2 SECTION
A400 1/16" = 1'-0"



3 KEYPLAN
A400 NTS

AVERAGE NATURAL GRADE CALCULATIONS			
ELEVATION (M)		LENGTH (M)	GRADE CALCS
1	68.48	2	77.48
2	77.48	3	76.53
3	76.53	4	70.29
4	70.29	1	68.48
TOTALS		295.54	21631.86
AVERAGE LOT GRADE =		73.19m	

AVERAGE FINISHED GRADE CALCULATIONS			
ELEVATION (M)		LENGTH (M)	GRADE CALCS
1	72.74	2	72.74
2	72.74	3	72.55
3	72.55	4	76.50
4	76.50	5	77.74
5	77.74	6	75.93
6	75.93	7	73.30
7	73.30	8	73.30
8	73.30	9	72.74
9	72.74	1	72.74
TOTALS		272.03	20152.78
AVERAGE LOT GRADE =		74.08m	

4 GRADE CALCS
A400 NTS

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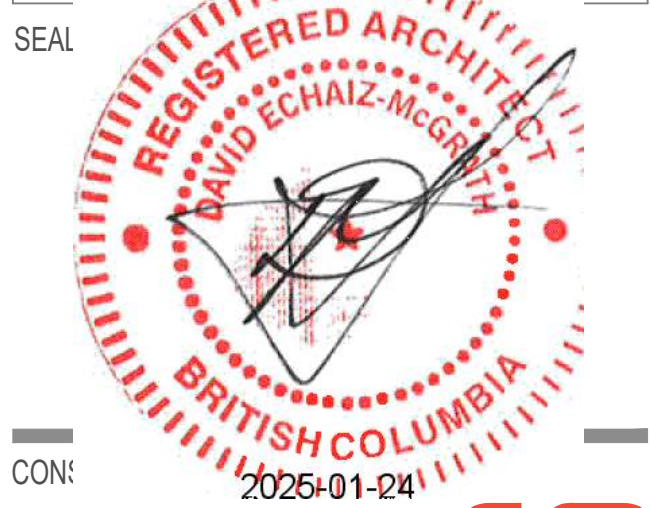
NORTH ARROW:

OWNER/CLIENT:



GENERAL NOTES:

3	RZN RE-SUBMISSION	2025/01/24
2	RZN RE-SUBMISSION	2024/11/22
1	RZN SUBMISSION	2024/07/05
NO.		M/D
SEAL		



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PROJECT NAME:

SOOKE MULTI-FAMILY

PROJECT ADDRESS:

2428, 2426 & 2420 SOOKE RD, COLWOOD, B.C.

DRAWING TITLE:

SECTIONS

PROJECT NO: 23026

DRAWN BY: TW

SCALE:

REVIEW BY: AE

DWG NO:

A400



November 22, 2024

DESIGN RATIONALE

2420, 2426 & 2428 Sooke Road, Colwood, BC

Project: #23026

The Design team of this project respectfully acknowledges that the land on which we propose to build these homes is on the unceded traditional territory of Coast Salish Peoples, the traditional keepers of this land.

WA Architects Ltd.

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Joel Smith
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David Echaiz-McGrath
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Barry Weih
PRINCIPAL (HONORARY)
ARCHITECT AIBC, AAA,
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| STUDIOS

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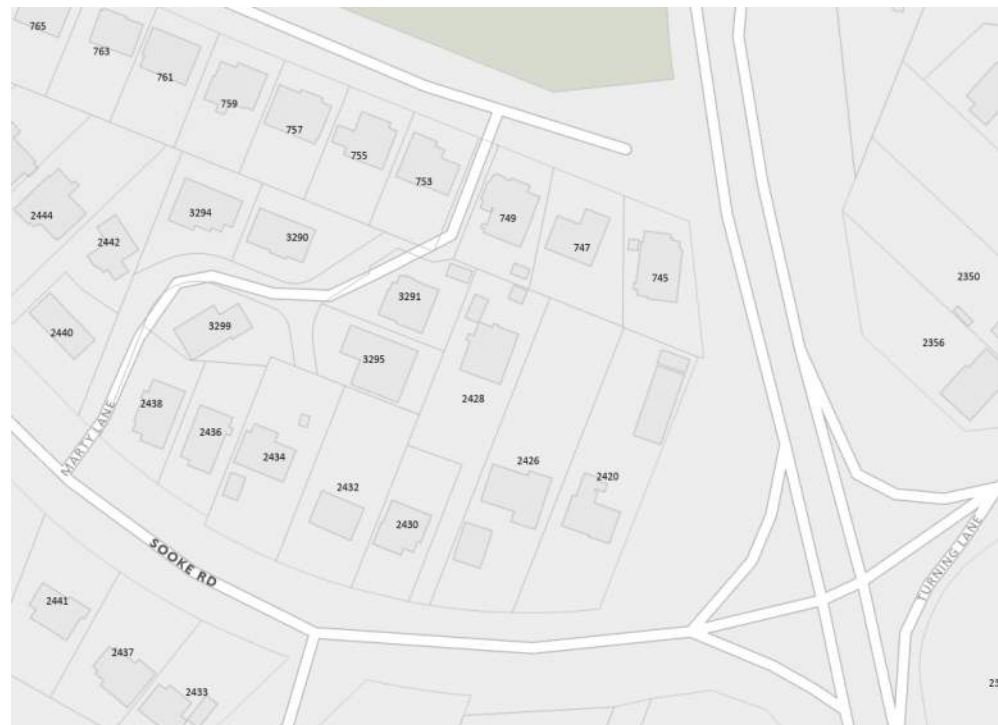
104 — 3212 Jacklin Road
Victoria, BC V9B 0J5
250.391.4933

wa-arch.ca

We are building communities.

Site Context

This proposal of two (2) six-storey multi-family residential buildings is located at 2420, 2426 and 2428 Sooke Road, Colwood, BC, comprising a total area of 57,761.88 ft² (5,366.26 m²). Along the West facing property line of the proposed development are three single-family dwellings and the other (East facing) is flanked by MoTI land running the length of Veteran's Memorial Parkway. The rear lot lines abut three other single family residential lots.



The site has a significant grade change, a statutory right of way (for an underground pipeline) and is located close to a high-volume intersection. While duly recognizing these constraints, a multi-unit residential development is an appropriate response to the surrounding community that is recognizably growing, with other notable re-developments to higher density housing and commercial buildings occurring within the vicinity of this proposed project.

It is located on a major transit route, has the Galloping Goose Trail nearby and Colwood Creek Park (with its existing multi-use pathway), and is walking distance to

the new Allendale district businesses, the Belmont Market services and amenities, and Westshore Town Centre.

Regional Map of Westshore

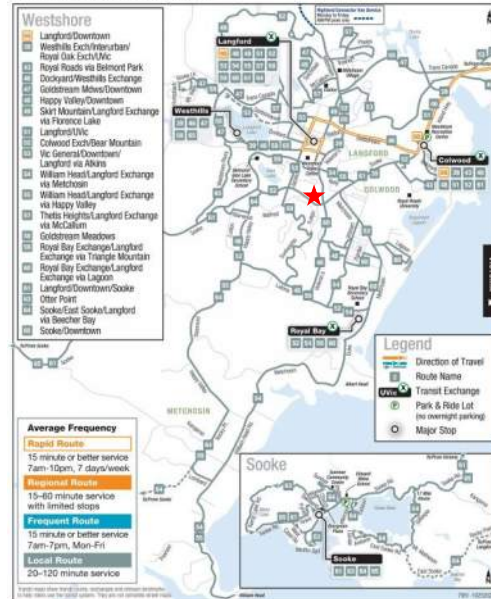


Figure 11: Cycling Network



Land Use

We are seeking to rezone and consolidate the existing three (3) single family residential lots to TGA1 as recommended by Colwood planning department. The development is recognized as being within the Hillside Environmental Protection DPA and Natural Hazards DPA, but also under the land use designation of Neighbourhood – Hillside and Shoreline (a Controlled Growth Area), as well as being located in a Transit Growth Area (as our rezoning is requesting). The development will also respect the general multi-family DPA guidelines.

This three-lot consolidation development under TGA1 zoning would be below both the allowable density (2.50 FAR) and site coverage limits (50%), at 2.47 and 45%, respectively, for the suggested rezoning. The TGA1 zoning particularly targets densities that will support transit and as this development is sited on a major road network, it also supports OCP policy 6.2.3.1 by offering transit-friendly residential densities and policy 8.2.4.1, which supports the establishment of Transit Growth Areas, by being located along the Frequent Transit Network.

To evaluate the existing natural environment of the site to align with Hillside and Natural Hazards DPA guidelines, an Environmental Impact Assessment was completed and found no significant natural features or ecological sensitivities on the site, as well as abundant evidence of historical disturbance throughout, given the well-established residential housing use of the land. However, in the development phase, it is our intent to implement the recommended environmental protection measures as set out in the EIA.

The properties have also undergone tree surveys, and an Arborist report has been supplied. Since the retention of trees is not viable for this project if it is to meet the TGA1 zoning needs, we will aim to minimize future environmental impact of the area through supporting the site adaptive planning approach as set out in OCP guidelines and policies.



We believe with the right planning and input from professionals this site can achieve a balanced approach to building higher density housing within an urban context that aims to protect our green spaces and natural areas by creating more compact urban neighbourhoods.

Other Applicable City Policies

Following OCP Policy 8.2.1.2, our design and location support the mode hierarchy, namely walking, transit and cycling: Being in proximity to the Galloping Goose Trail and being located at the corner of Veteran's Memorial Parkway, residents can easily access pedestrian paths, cycling paths and sidewalks to the extensive offerings of services and amenities in the vicinity.

Furthermore, the development's provisioning of safe and secure bicycle parking for residents and visitors provided for in multiple areas – short term in surface parking area and the long-term bicycle centres within each building – are in accordance with Policy 8.2.3.6 of the OCP. By also supplying 100% EV ready parking stalls in the parkade, our project further supports low carbon transportation systems.

The development will be in line with accessibility infrastructure needs, including accessibility paths along the buildings' lengths from the public realm and surface parking to the lobby entrances, which aligns with guidelines in OCP Policy 8.2.2.9.

Pedestrian-level enjoyment and attractiveness are other areas of concern that this development has highly considered in its design. Two sizable outdoor spaces (OCP Policy 9.2.1.1.b) offer the much-desired leisure and light recreational areas for residents and their guests and extend upon the usable area of the private units.

We have also incorporated OCP Policy 9.2.1.1 (a) by provisioning the ground floor units along Sooke Road with access to the street.

Adequate Infrastructure

With the help of a team of qualified professional, we established that the existing utilities and routes were suitable for our development proposal.

Project Statistics and Programming

This three (3) lot consolidation development will consist of two six (6) storey wood-frame buildings with three levels of underground parking, accessible from both buildings. Building B will be the larger of the two, offering 97 residential units, and is set at the rear of the development, while Building A will comprise 74 residential units.

The total proposed 171 units offer a diverse mix of studio (11%), 1- (49%), 2- (30%), and 3- (10%) bedroom units, with 14 different unit types, across the two buildings. Building A will host all Studio units, 18 in total at 345 ft². The 1-bedroom units will primarily occupy Building B, having 67 units in total, and range in size from 584 ft² to 636 ft², while Building A will offer 17 1-bedroom units that range in size from 582 ft² to a generous 745 ft². All 1-bedroom units also boast an additional den space. Of the 2-bedroom units, Building A will offer 31 units at 794 ft² and Building B will offer 12 of this same unit, as well as 6 units at 811 ft² and 3 units at 854 ft². Of the 3-bedroom units, Building A will offer an equal number of 4 units each at 906 ft² and 908 ft², while Building B will offer an equal number of 3 units each at 872 ft² and 873 ft². All 2- and 3-bedroom units also contain 2 bathrooms.



DESCRIPTION	GROSS AREA (ft ²)	# OF UNITS	
		BLDG A	BLDG B
Studio	345 ft ²	18	0
1 Bed + Den	584 ft ²	7	43
1 Bed + Den	608 ft ²	0	21
1 Bed + Den	636 ft ²	0	3
1 Bed + Den	745 ft ²	6	0
1 Bed + Den	582 ft ²	4	0
2 Bed + 2 Bath	794 ft ²	31	12
2 Bed + 2 Bath	811 ft ²	0	6
2 Bed + 2 Bath	854 ft ²	0	3
3 Bed + 2 Bath	906 ft ²	0	3
3 Bed + 2 Bath	908 ft ²	4	0
3 Bed + 2 Bath	932 ft ²	4	0
3 Bed + 2 Bath	873 ft ²	0	3
3 Bed + 2 Bath	872 ft ²	0	3
Total units per building		74	97

With this mix, we are aiming to help meet the need for more diversified housing within the predominantly single-family dwelling structure of Colwood. This mix can benefit the area by offering smaller-scale housing that is more affordable by nature and can target our aging population, individuals or couples just starting out, and smaller families.

Visitor and accessible parking will be provided for through 14 surface parking stalls, with the remaining visitor parking in the underground parkade, along with the residential parking. There will be three underground levels of parking, supplying 209 stalls. Access to the underground parkade will be provided for with a ramp between the two buildings from the surface parking area. Street access to the parking will be along the West property line off Sooke Road, well away from the high-volume intersection. These measures put the development in line with OCP Policy 25.12 guidelines. All parking stalls, except for visitor parking, will be equipped to accommodate electric vehicles, having 100% with EV rough-ins.

Along the Sooke Road frontage will be an entrance to the lobby of Building A, in addition to the secondary entrance from the surface parking area. We will also activate the Sooke Road frontage at the pedestrian scale with a large covered entry plaza that will provide an inviting path to guide visitors and residents from the public street front along the sidewalk to the interior of the development and Building B's lobby entrance, as well as offering a place of refuge and a charming place to relax (OCP Policy 25.10 and 30.15).

A large bicycle centre at 3687 ft² is also provisioned for within Building A, and another bicycle centre of 1000 ft² is allotted for in Building B, at grade. Each building is also provisioned with a rooftop amenity space (1514 ft² for Building A and 1391 ft² for Building B) flanked by an indoor amenity space of 582 ft² and 608 ft², respectively, following guidelines set out in OCP Policy 25.11 and 30.21. These spaces will greatly enhance the liveability of the private units, by offering large secure places of leisure and light recreation for future residents and their guests.

To improve safety, we have applied crime prevention measures (OCP Policy 8.2.2.10.f) that meet OCP guidelines, namely 25.6 (b), by placing the lobby entrances at central areas and next to private patios that also overlook the public spaces, as a way to generate more activity in the area and provide more surveillance opportunities. Similarly, through the course of the development of these lots, we will



consult the City and other professionals to create lighting and sightlines along and around the building that will minimize potential criminal activity on the site.

Development Permit Variances Requested

Site Lot Width Variance (CoCol Land Use Bylaw 151, 1989 – 6.12.06.1)

The proposal is seeking a relaxation of 4.92 m with respect to site lot width. It is thought that although the site lot width is below the permitted limit for TGA1 Zoning, since site coverage and density are well within the allowable limits and all setbacks, but for the garage, are exceeding the permitted limits, that these will sufficiently offset this variance request.

Notably, we had attempted to acquire the 2430 Sooke Road lot in order to increase our building frontage. Unfortunately, we were unable to do so as the current owners do not want to sell.

Garage Setbacks Variance (CoCol Land Use Bylaw 151, 1989 – 6.12.06.1)

The proposal is seeking a variance to decrease the front (Sooke Road) and side (East) setbacks of the underground parkade by 0.94 m and 2.7 m, respectively. As the East lot abuts MoTI land, this setback reduction does not create any significant impact.

Form and Character

In alignment with the requested rezoning to TGA1 and following the guidelines set out in the Official Community Plan for general multi-family and hillside developments, this development is designed to respect modern urban living that aims to complement the physical features of the land and showcase low carbon practices.

The orientation and organization of the buildings were carefully considered, with special attention given to site topography and the surrounding context. We explored the best way to accent and use the grade changes and size of the lots, without loss to building design and usability. The entryways will be highlighted and punctuated through design of the sidewalk and visual massing as well as from the contrasting use of colour that will draw the eye to the areas (following OCP guidelines listed in Policy 25.10). The prominently placed entry plaza at the street frontage will also provide a highly activated public realm and a warm and welcoming area of refuge off the busy road front (in line with OCP Policy 25.8.d).

For visual appeal, a mix of high-quality contemporary exterior finishes will be used, with an intermingling of texture and an attractive contrast in hues. The articulation at the corners and the artistically angled pop-outs on the vertical plane provide a pleasing departure along the length of the buildings, not to mention the placement of the recessed balconies, which further create relief along the structures.

Community Benefits and Amenities

This project is being designed along BC's Energy Step Code at Step 2 sustainability requirements to ensure we meet responsible environmental mandates. The development will also address the need for more rental housing by securing a housing agreement with the City.

The location of the development on Sooke Road, although near a busy intersection, currently does not have a proper sidewalk. Our design will thus enhance the area for the local community by adding to the sidewalk network. Additionally, we will make improvements to the existing pathway that connects Sooke Road to Colwood Creek Park at Cecil Blogg Drive (OCP Objective 8.2.2).

Furthermore, being in close proximity to shopping and commercial services districts and various transportation networks, including the Galloping Goose cycling path, as well as parks and other amenities, this development also supports the foundations of a sustainable community, by offering all mobility options that are both safe and accessible.



Regional Growth Context Strategy

This community is growing. As set out in Colwood's Housing Needs Report (December 2022), the City of Colwood is expected to increase its population by 2640 households between 2018 and 2028 (a 35% population increase), with 43% of this growth expected to require apartment housing. The OCP also states that there is growing emphasis on the demand for multi-unit housing types in the West Shore region, with a projected 230% increase in apartment unit demand expected between 2016 and 2038. The BC government has also recently identified Colwood within the next set of priority communities to receive housing targets.

This project aims to help meet this demand by providing more multi-family residential choices, and to help foster a vibrant and economically strong community, consistent with the intent of the Official Community Plan. We welcome your feedback and look forward to working with you and the City to create homes for the modern lifestyle.

WA Architects Ltd.



ENVIRONMENTAL ASSESSMENT

FOR THE PROPOSED REZONING OF 2428, 2426 & 2420 SOOKE ROAD, COLWOOD BC

PREPARED FOR:
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AND

CITY OF COLWOOD
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CORVIDAE PROJECT #2024-047
NOVEMBER 2024

CORVIDAE
ENVIRONMENTAL CONSULTING INC
6526 WATER STREET, SOOKE, BC

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CAVEAT

This Environmental Assessment (EA) has been prepared with the best information available at the time of writing, including the City of Colwood Official Community Plan, communications with the client, a site visit, review of site plans and design drawings and other documentation relevant to the project. This EA has been developed to assist the development proposal in remaining in compliance with relevant environmental regulations, acts and laws and to identify and mitigate anticipated impacts of the proposed works.



1. INTRODUCTION

Corvidae Environmental Consulting Inc. (Corvidae) is pleased to provide this Environmental Impact Assessment (EA) for the proposed rezoning and development at 2428, 2426 and 2420 Sooke Road in Colwood, BC (collectively referred to as the Site; PID 008-024-731, LOT B, PLAN VIP45403; PID 004-797-078, Lot 3, Plan VIP12634; and PID 004-797-001, Lot 2, Plan VIP12634, SECTION 77, ESQUIMALT LAND DISTRICT).

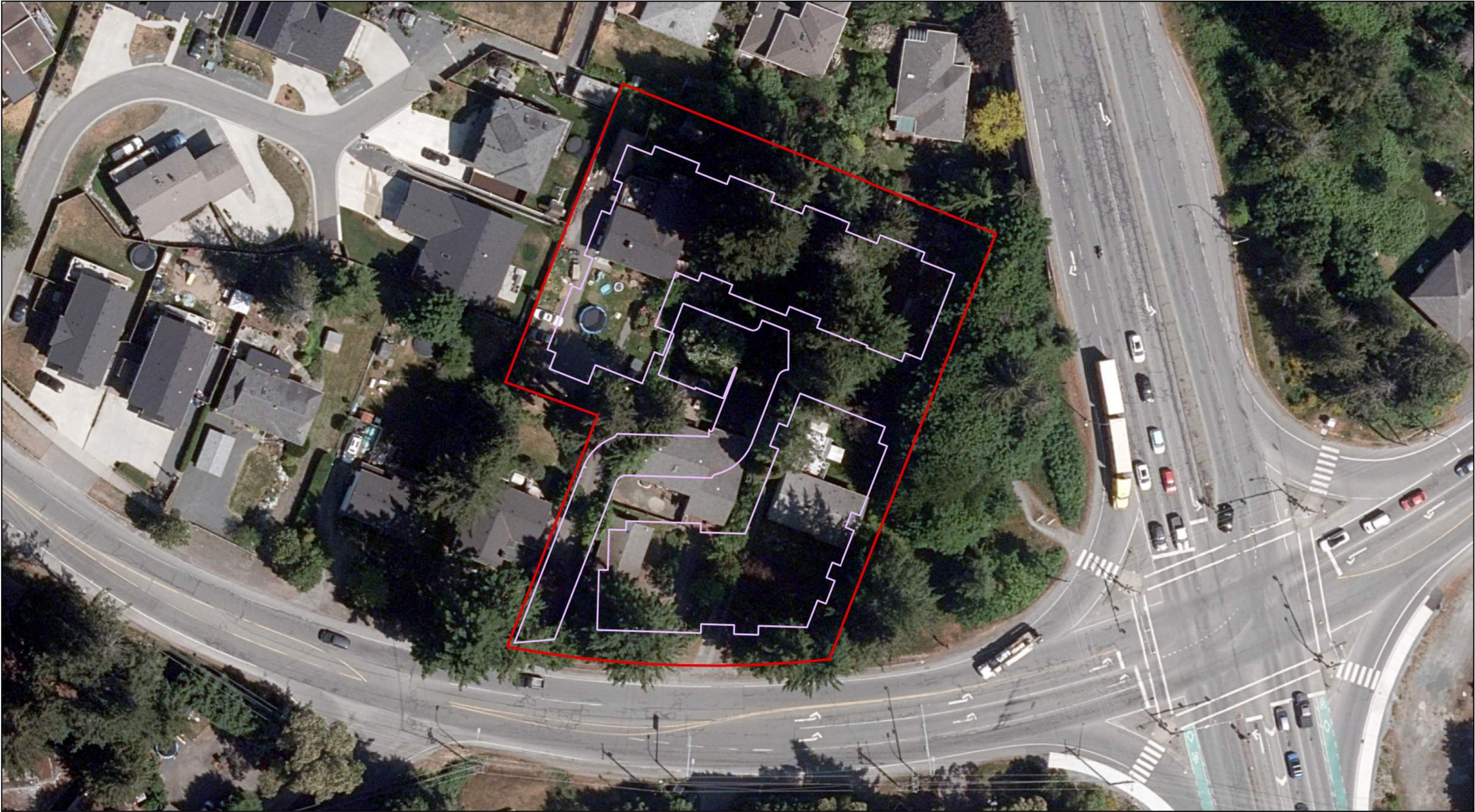
The client is proposing to build a multifamily development, including surface and underground parking, outdoor amenity area, and bicycle centre. The Site boundaries and proposed development plan are shown in Figure 1.

The Site currently consists of three residential lots with a standard one storey house. Lots are vegetated with coniferous and deciduous trees, shrubs, and ornamental species. Site preparation activities to follow rezoning approval may include (but are not limited to) the following: vegetation removal, excavation, grading, and the installation of driveways, utility alignments, and retaining structures. The Site occurs within the Natural Hazards Development Permit Area (DPA) and the Hillsides Environmental Protection DPA (Figure 2) and is zoned as Residential 1 (R1).

No significant natural features or ecological sensitivities were detected on the Site during the assessment (i.e. wildlife trees, surface water features or species and ecological communities at risk).

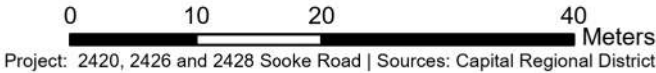
This document addresses the requirements outlined in Part D of the City of Colwood Bylaw No. 1700, provides a detailed assessment on the environmental conditions on the Site, potential impacts of the proposed development, and recommendations for the protection of environmentally sensitive features and methods to minimize impacts of the proposed works.





Project Location and Environmental Features

- Site plan
- Property Boundary



Project: 2420, 2426 and 2428 Sooke Road | Sources: Capital Regional District



Corvidae Project No.
COR-2024-047

Rev. #	Date
0	April 11, 2024
1	November 12, 2024
2	November 18, 2024

Figure 1

1.1 OBJECTIVES

The purpose of this EA is to assess the current ecological features onsite and identify terrestrial habitat, sensitive ecosystems, and wildlife habitat, including wildlife trees, nests, and any other wildlife features. This EA also identifies the presence of threatened or endangered species on or around the Site, which includes a 0.5-kilometre (km) buffer around the Site boundaries. As part of the EA, Corvidae completed a detailed field assessment to document biophysical features, habitat and verify available ecosystem inventory data.

From this information, potential impacts have been determined and mitigations have been provided to protect the natural environment, its ecosystems, and associated biological diversity. This report and recommendations meet the environmental requirements in the City of Colwood Official Community Plan (OCP), zoning by-laws and addresses provincial and federal laws.

1.2 REGULATORY FRAMEWORK

This EA is designed to comply with the provisions set out in the City of Colwood OCP for development permit areas and for compliance with the provisions for environmental protection contained in the following relevant legislation:

Municipal

- City of Colwood OCP, Bylaw No. 1700 (City of Colwood 2022)

Natural Hazards DPA

Objectives

- Protect lives and property from hazardous conditions such as landslides and erosion by avoiding development on unstable or hazardous areas.
- Protect people and development from flooding and erosional processes associated with extreme weather events and potential sea level rise in ways that do not lead to hardening of shorelines and loss of environmental and recreational values.
- Protect lives and property from interface wildfire.

Steeply Sloped Areas (OCP Section 23.1)

- Development on lands with slopes greater than 30% must be avoided. Development may be considered on slopes greater than 30% only where it can be demonstrated that the proposed development will not create geotechnical, ecological, or visual impacts, can be sensitively integrated with terrain, and presents no hazards to people or property.
- Grading or alteration of key topographic features such as knolls, ridgelines, rocky outcrops, cliffs, and ravines must be avoided.



Environmental Protection DPA

Objectives

- Protect wildlife habitat and corridors, and environmentally sensitive areas on hillsides.
- Identify significant features prior to development and protect hillside character and natural features.
- Conserve unique natural features such as landforms, rock outcrops, mature trees and vegetation, hilltops, and ridge lines.
- Minimize blasting and re-contouring of hillsides.

Hillsides (OCP Section 22.1)

- Take advantage of topography and minimize disruption of rock outcroppings, sensitive ecosystems, mature trees, and culturally significant features.
- Open space and corridors between development areas or lots should be retained to provide continuous habitat linkages within the site and surrounding area. Significant features such as rock outcrops, streams, cliffs, and stands of trees should be incorporated into the open space and corridors as much as possible.

The guiding principle for the use of Development Permits is found within the *Local Government Act*. Development Permit Areas can be designated for purposes such as, but not limited to: protecting, enhancing and restoring the biodiversity and ecological values and functions of environmentally sensitive areas; fostering compatibility between development, existing land uses and environmentally sensitive areas; maintaining connectivity between sensitive ecosystems; and protecting water quality and quantity.

Provincial

- Wildlife Act (1996)
- Invasive Species Council of BC
- *Weed Control Act* (1996, current as of October 2016)

Federal

- Migratory Birds Convention Act (1994)
- Species at Risk Act (SARA) (2002)

1.3 DEVELOPMENT PERMIT AREAS

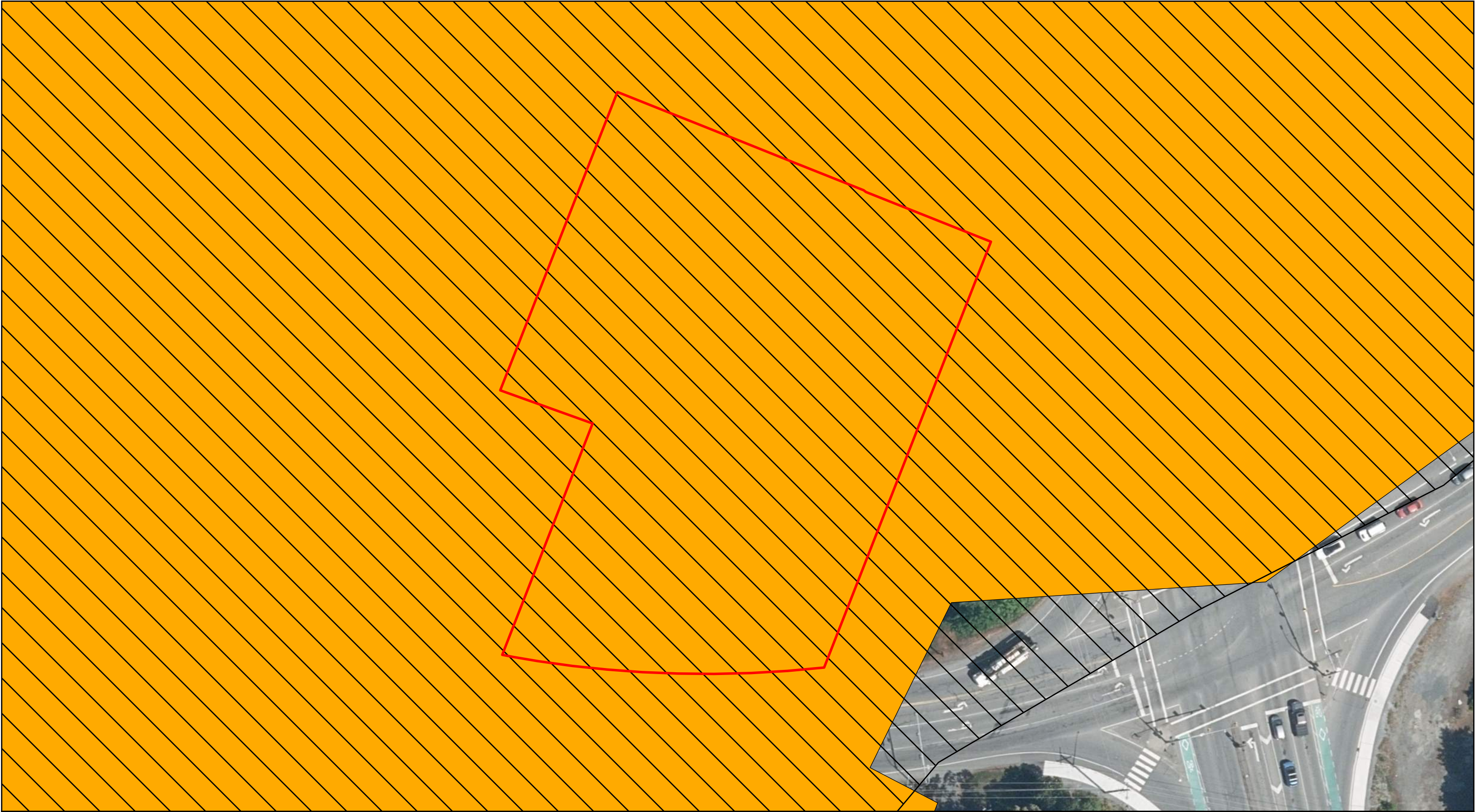
As per Figure 19 of the City of Colwood OCP, the Site occurs within the Natural Hazards Development Permit Area (DPA). The objectives of this DPA include the protection of lives and property from hazardous conditions, potential erosion and flooding associated with extreme weather events and sea-level rise, and wildfire. Boundaries of this DPA on the property are shown in Figure 2.



Commentaries regarding development requirements to ensure human safety and slope stability within the Natural Hazards DPA on the property are outside of the scope of this EA (which focuses on biophysical attributes). A geotechnical evaluation prepared by a registered geotechnical professional may be completed to address that the Site is safe for its intended use.

As per Figure 18 of the City of Colwood OCP, the Site also occurs within the Environmental Protection DPA (Hillside) (Figure 2). The objectives of this DPA include the protection of wildlife habitat and corridors, environmentally sensitive areas on hillsides, identifying significant features prior to development, and protecting hillside character and natural features. Other objectives include conservation of unique natural features such as landforms, rock outcrops, mature trees and vegetation, hilltops, and ridge lines, and minimizing blasting and re-contouring of hillsides.





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2. SCOPE OF WORK

Corvidae completed an environmental assessment for the Site and documented the ecological features. Background information was reviewed, including applicable databases. The following features were documented and provided in this report:

- Areas of sensitivity
- Areas of habitat and biodiversity values
- Plant communities and plant species on site.
- Potential wildlife presence and wildlife habitat.
- Soil types and terrain.

Mitigation recommendations to minimize the environmental impacts associated with future, potential development on the Site have been provided in Section 6.

3. METHODS

3.1 DESKTOP REVIEW

Baseline biophysical conditions were compiled by reviewing the best available data and information including existing reports for the area and conducting searches of online provincial and federal databases:

- BC Conservation Data Centre (BC CDC 2023a and 2023b).
- BC HabitatWizard (Province of BC 2023).
- Aerial photographs of the Site (Google Earth 2023).
- CRD mapping system and database (CRD 2023).
- City of Colwood GIS Mapping (City of Colwood n.d.)
- Colwood OCP Bylaw No. 1700 (City of Colwood 2022).

3.2 FIELD ASSESSMENT

A field assessment of the Site was completed by two Qualified Environmental Professionals (QEPs) from Corvidae. The assessment included characterization of vegetation and habitat types, wildlife signs and species observations, wildlife habitat, and current conditions of the Site.



4. ENVIRONMENTAL SITE ASSESSMENT

Corvidae completed a site visit on April 10 and November 15, 2024. Site photographs are included as Appendix A.

4.1 LAND USE

The Site consists of three residential lots. Each lot currently supports a standard one storey house and accessory buildings. Evidence of historical disturbance is abundant throughout (i.e., vegetation clearing, landscaped areas, and ground disturbance). Land use in the surrounding areas is primarily residential. The Site is bound by residential properties to the north and west, by a small parcel of vacant land to the east, and by Sooke Road to the south.

4.2 CLIMATE AND BIOGEOCLIMATIC ZONE

The project is located within the Coastal Douglas-fir (CDF) biogeoclimatic zone, specifically in the Moist Maritime Coastal Douglas-fir Subzone (CDFmm) (BC CDC 2023b). The CDFmm occurs at low elevations (<150 m) along southeast Vancouver Island, the southern Gulf Islands, and part of the Sunshine Coast. The CDFmm has the mildest climate in Canada. This subzone has a long growing season with warm, dry summers and mild, wet winters (Nuszdorfer et al. 1991).

4.3 TERRAIN AND SOILS

Soils in the CDFmm biogeoclimatic zone are generally derived from morainal, colluvial, and marine deposits, and are typically Brunisols, grading with increased precipitation to Humo-Ferric Podzols (Nuszdorfer et al. 1991). Soils on the Site are described as rapidly drained, Orthic Dystric Brunisols (60%), undifferentiated bedrock (20%), and well-drained Duric Dystric Brunisols (20%) (SIFT 2018). The terrain onsite, including both lots, slopes down gradually from south to north (slope is <10%).

4.4 SURFACE WATER

Surface water features (e.g., watercourses, wetlands, etc.) were not detected during the field assessment on the Site or within 30 metres of the Site boundaries. A Storm Water Management Plan (SWMP) may be prepared and submitted separately to address stormwater aspects as they relate to the proposed development.

4.5 VEGETATION

Due to prior site disturbance, vegetation is limited to grasses, conifers, deciduous trees, and invasive vegetation species. Native shrub and herbaceous cover was noted onsite (dull Oregon-grape, oceanspray, common snowberry, and western trillium). Moss cover was observed within landscaped areas in the southern extent of 2420 Sooke Rd. Mature Douglas-fir, arbutus, and western red cedar are situated along the periphery of the Site.

Six invasive plant species were observed on the Site. Himalayan blackberry, English holly, English ivy, Scotch broom, and spurge laurel are listed as “Control” species as per the Coastal Invasive Species Committee (ISC). Poison hemlock is included on the Coastal ISC ‘Contain’ list. It is recommended that



efforts to control these species are focused within high value conservation areas and that the use of Biological Control, if available, is utilized on a landscape scale (ISC 2023). Measures to remove and prevent invasive species are recommended and provided in Section 6 of this report. All vegetation species noted during the April 10, 2024, field visit are included below in Table 1.

Table 1. Plant species observed on the Site during the April 10 and November 15, 2024, field visits.

Common Name	Scientific Name	BC Provincial Status ¹	SARA Schedule 1 Status ²
Algerian ivy	<i>Hedera algeriensis</i>	Exotic	--
Arbutus	<i>Arbutus menziesii</i>	Yellow	--
Armenian grape hyacinth	<i>Muscari armeniacum</i>	Exotic	--
Bigleaf maple	<i>Acer macrophyllum</i>	Yellow	--
Bulbous bluegrass	<i>Poa bulbosa</i> spp. <i>vivipara</i>	Exotic	--
California lilac	<i>Ceanothus</i> sp.	Exotic	--
Cherry laurel	<i>Prunus laurocerasus</i>	Exotic	--
Cherry plum	<i>Prunus cerasifera</i>	Exotic	--
Common daisy	<i>Bellis Perennis</i>	Exotic	--
Common sage	<i>Salvia officinalis</i>	Exotic	--
Common snowberry	<i>Symphoricarpos albus</i>	Yellow	--
Daffodil	<i>Narcissus pseudonarcissus</i>	Exotic	--
Dandelion	<i>Taraxacum</i> sp.	Exotic	--
Douglas fir	<i>Pseudotsuga menziesii</i>	Yellow	--
Dull Oregon-grape	<i>Mahonia nervosa</i>	Yellow	--
English ivy	<i>Hedera helix</i>	Invasive ; Exotic	--
English holly	<i>Ilex aquifolium</i>	Invasive ; Exotic	--
Falsebox	<i>Paxistima myrsinites</i>	Yellow	--
Easter tree	<i>Forsythia</i> spp.	Exotic	--
Foxglove	<i>Digitalis purpurea</i>	Exotic	--
Grass spp.	<i>Poa</i> spp.	--	--
Herb Robert	<i>Geranium robertianum</i>	Exotic	--
Himalayan blackberry	<i>Rubus armeniacus</i>	Invasive ; Exotic	--
Honesty	<i>Lunaria annua</i>	Exotic	--
Iris	<i>Iris</i> spp.	Exotic	--
Japanese cherry	<i>Prunus serrulata</i>	Exotic	--
Japanese kerria	<i>Kerria japonica</i>	Exotic	--
Lemon balm	<i>Melissa officinalis</i>	Exotic	--
Mexican orange	<i>Choisya ternata</i>	Exotic	--
Miner's-lettuce	<i>Claytonia perfoliata</i>	Yellow	--
Monkey puzzle	<i>Araucaria araucana</i>	Exotic	--
Mountain ash	<i>Sorbus aucuparia</i>	Exotic	--
Oceanspray	<i>Holodiscus discolor</i>	Yellow	--
Pine	<i>Pinus</i> spp.	Yellow	--
Poison hemlock	<i>Conium maculatum</i>	Invasive ; Exotic	--
Portugal laurel	<i>Prunus lusitanica</i>	Exotic	--



Common Name	Scientific Name	BC Provincial Status ¹	SARA Schedule 1 Status ²
Primrose	<i>Primula vulgaris</i>	Exotic	--
Purple-leaved plum	<i>Prunus cerasifera</i>	Exotic	--
Rhododendron	<i>Rhododendron</i>	Exotic	--
Rhubarb	<i>Rheum rhabarbarum</i>	Exotic	--
Rock cotoneaster	<i>Cotoneaster horizontalis</i>	Exotic	--
Rose campion	<i>Silene coronaria</i>	Exotic	--
Rosemary	<i>Salvia rosmarinus</i>	Exotic	--
Salal	<i>Gaultheria shallon</i>	Yellow	--
Scotch broom	<i>Cytisus scoparius</i>	Invasive ; Exotic	--
Spurge laurel	<i>Daphne laureola</i>	Invasive ; Exotic	--
Sweet rocket	<i>Hesperis matronalis</i>	Exotic	--
Sword fern	<i>Polystichum munitum</i>	Yellow	--
Tamarack	<i>Larix laricina</i>	Yellow	--
Trailing blackberry	<i>Rubus ursinus</i>	Yellow	--
Western flowering dogwood	<i>Cornus nuttallii</i>	Yellow	--
Western redcedar	<i>Thuja plicata</i>	Yellow	--
Western trillium	<i>Trillium ovatum</i> var. <i>ovatum</i>	Yellow	--
White cedar	<i>Thuja occidentalis</i>	--	--
Wintercress	<i>Barbarea</i> spp.	--	--

¹ BC CDC 2023a² Government of Canada 2023

4.6 WILDLIFE

Shrubs and mature coniferous and deciduous trees may provide nesting habitat for migratory songbirds and year-round resident species (e.g., Anna's hummingbird). While there is suitable nesting or roosting habitat for raptors and owls (i.e., mature trees), no sign of raptor or owl presence was observed (e.g., whitewash, prey remnants, or large stick nests). The Site may also be used by deer or other large mammals; however, none were detected during the assessment. Potential for reptile use on the Site is considered low as suitable habitat was not detected (e.g., absence of south-facing, exposed rock). All species detected during the site assessment are included in Table 2.

Table 2. Wildlife observed on the Site during the April 10 and November 15, 2024, field visits.

Common Name	Scientific Name	BC Provincial Status ¹	SARA Schedule 1 Status ²
American robin	<i>Turdus migratorius</i>	Yellow	--
Chestnut-backed chickadee	<i>Poecile rufescens</i>	Yellow	--
Dark-eyed junco	<i>Junco hyemalis</i>	Yellow	--
Golden crowned kinglet	<i>Regulus satrapa</i>	Yellow	--
House finch	<i>Haemorhous mexicanus</i>	Yellow	--
House sparrow	<i>Passer domesticus</i>	Yellow	--
Northern flicker	<i>Colaptes auratus</i>	Yellow	--
Yellow-rumped warbler	<i>Setophaga coronata</i>	Yellow	--

¹ BC CDC 2023a' ² Government of Canada 2023

4.7 SPECIES AT RISK

A query of the BC CDC iMap tool yielded occurrences of 2 species and 3 ecosystems at risk within a 0.5-kilometer radius of the Site, as well as one masked occurrence (BC CDC 2023b) (Table 3). A request for more information regarding the masked occurrence has been sent to BC CDC but a response has not yet been received. No at-risk species or ecosystem occurrences are mapped on the Site. The location of these occurrences in relation to the Site is provided in Figure 3. None of the species or ecosystems listed in Table 3 were detected during the site assessment, nor was suitable habitat identified on the Site for the species mentioned.

Table 3. Species at risk that may occur in the vicinity of the Site.

Common Name	Scientific Name	BC Provincial Status ¹	SARA Schedule 1 Status ²
Species			
Lobb's water-buttercup ³	<i>Ranunculus lobbii</i>	Red	--
Western Painted Turtle – Pacific Coast population critical habitat	<i>Chrysemys picta bellii</i>	Red	Endangered
Ecosystems			
Douglas-fir / dull Oregon-grape	<i>Pseudotsuga menziesii</i> / <i>Mahonia nervosa</i>	Red	n/a
Grand fir / dull Oregon-grape	<i>Abies grandis</i> / <i>Mahonia nervosa</i>	Red	n/a
Grand fir / three-leaved foamflower	<i>Abies grandis</i> / <i>Tiarella trifoliata</i>	Red	n/a

¹ BC CDC 2023a

² Government of Canada 2023

³ Historical occurrence (1940)

Mapped polygons for the sensitive ecosystems classified as Douglas-fir/dull Oregon-grape, Grand fir/dull Oregon-grape, and Grand fir/three-leaved foamflower ecological communities within the CDFmm are mapped within 0.5 km of the Site (Figure 3). These occurrences are mapped by the BC Conservation Data Centre and are red-listed communities that are critically imperiled (Province of BC 2023).

Mature, intact forests within the Douglas-fir – dull Oregon-grape ecological community are characterized by mature Douglas-fir, western redcedar, arbutus and bigleaf maple trees ranging from 80 to 100 years-old. The understory has a well-developed mix of shrubs, including dull Oregon-grape, salal, red huckleberry, oceanspray and baldhip rose. The forest floor has scattered sword fern and hairy honeysuckle with an almost continuous moss carpet dominated by step moss, Oregon beaked-moss and electrified cat's-tail moss. Several dead or dying mature trees are typically present that provide habitat for nesting birds and small mammals (BC CDC 2012).

Mature and old stages of the Grand fir – dull Oregon-grape ecological community are fairly closed-canopy coniferous forests of Douglas-fir, grand fir, and western redcedar. Western flowering dogwood, western yew, flowering dogwood, cascara and bigleaf maple may be present but with low cover. There is a dense shrub layer consisting of salal and dull Oregon-grape and baldhip rose, often with oceanspray, red huckleberry, and saskatoon. The herb layer is sparse with low cover of some or all of the following species: bearded fescue, sword fern, western trillium, three-leaved foamflower, sweet-scented bedstraw, vanilla leaf, and twinflower. The dense moss layer is dominated



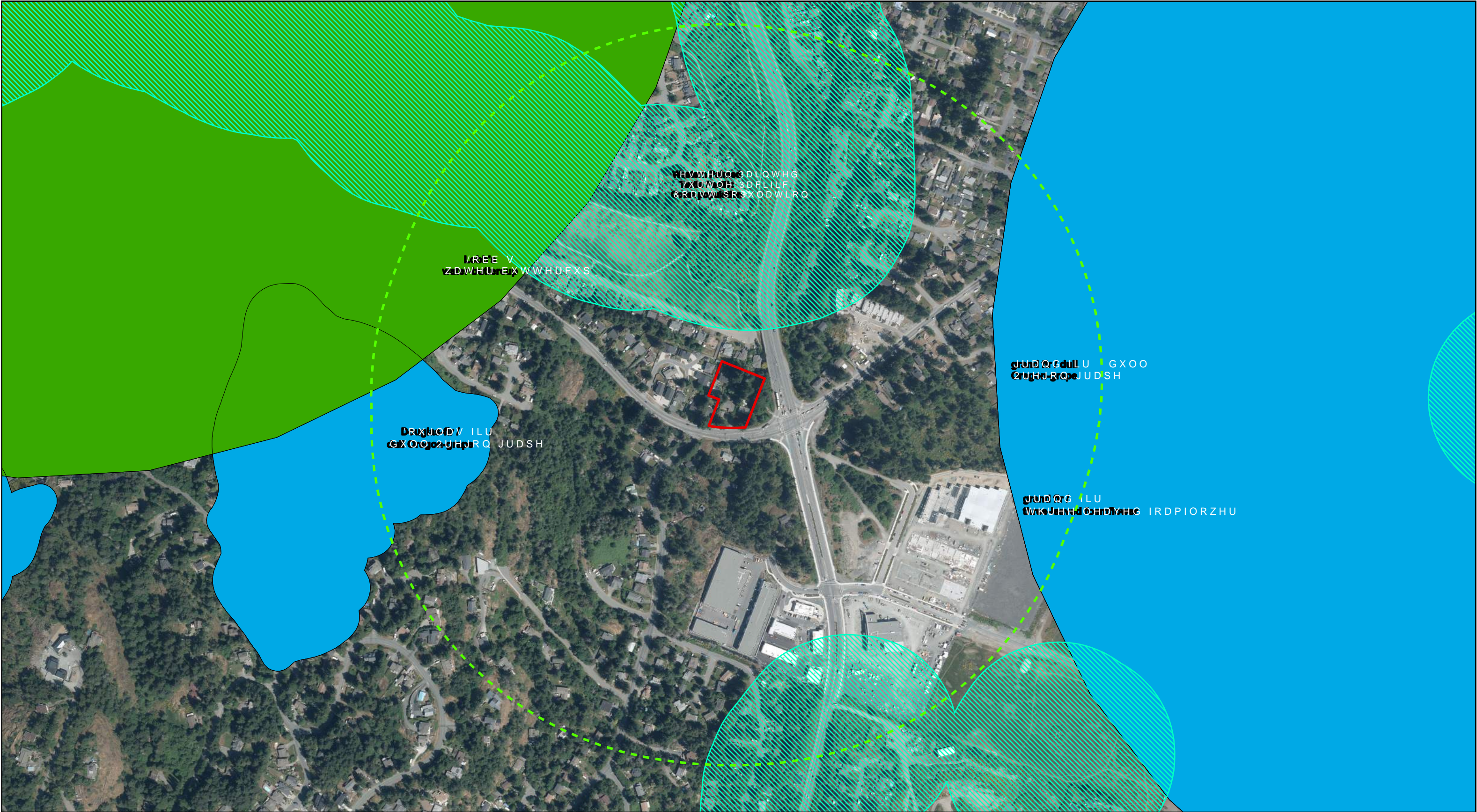
by Oregon beaked moss. Palm tree moss is a key indicator species and step moss is often present (BC CDC 2014).

Mature and old forests of the Grand fir – three-leaved foamflower ecological community are dominated by western redcedar and grand fir, with a moderate cover of Douglas-fir in the canopy. Western hemlock may also be present with moderate cover. Western flowering dogwood, bigleaf maple, and western yew are often present but with low cover. The shrub layer is sparse, consisting of dull Oregon-grape and occasionally salal. The herb layer is dominated by sword fern and three-leaved foamflower. Vanilla leaf and western trillium occur with low cover. The moss layer is dominated by *Eurhynchium oregonum* (BC CDC 2009).

CRITICAL HABITAT

Mapped critical habitat for Western Painted Turtle (Pacific Coast population) (*Chrysemys picta bellii*) overlaps the Site (Figure 3). Western Painted Turtles are a provincially red listed (critically imperiled) species and are listed as endangered under the federal *Species at Risk Act*. This species is highly aquatic but does require terrestrial habitat for nesting, basking, and movement (Environment and Climate Change Canada 2018). Nesting habitats are on land adjacent to aquatic foraging habitat, usually within 200 m of the water body, typically on gentle south-facing slopes. There are no aquatic features on the property that would support the life history functions of this species and no nesting habitat was identified during the site assessment. The probability of Western Painted Turtle occurring on the Site is considered low as the Site is highly disturbed and does not contain desirable habitat features for this species.





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5. POTENTIAL ENVIRONMENTAL EFFECTS

The potential impacts of future development of the Site on the environment are:

- Loss of native vegetation and spread of invasive plant species.
- Change in wildlife habitat availability and wildlife mortality risk.
- Sediment movement in the project area.

The residual environmental impacts of the activities on the Site will be reduced by the implementation of the mitigation and restoration measures recommended in Section 6 of this report.

VEGETATION

The effects of tree and vegetation removal may include loss of biodiversity of plant species and increased susceptibility to invasive plants not only on the Site but also in adjacent plant communities. Vegetation and plant communities immediately adjacent to cleared areas may experience changes due to windthrow and changes in microclimate (increased light and moisture penetration).

INVASIVE SPECIES

Invasive plants are particularly adept at colonizing degraded plant communities and disturbed soils. Invasive plants establish readily in disturbed areas as they have a wide ecological tolerance and grow and propagate quickly. The effects of invasive plant establishment may be the reduction or displacement of native species by capturing resources and occupying habitats.

WILDLIFE AND WILDLIFE HABITAT

Loss and alteration of vegetation can result in the loss of habitat for wildlife species. As mature trees are abundant surrounding the site, removal of these features may result in loss of habitat for bird species. Rock blasting and site grading can also disturb wildlife or cause mortality. Noise from site preparation and construction may temporarily disturb and displace wildlife residing or passing through the Site.

EROSION AND SEDIMENT

Removal of vegetation during site preparation and construction exposes soils to erosion and can result in the movement of sediment on the Site. Damage or degradation of soil surfaces during site preparation and construction can include loss of soil structure, increased erosion, and soil compaction.



6. RECOMMENDED ENVIRONMENTAL PROTECTION MEASURES

The mitigation measures provided in this report are designed to protect sensitive ecosystems and were developed in accordance with:

- The City of Colwood OCP (City of Colwood 2022),
- Procedures for Mitigating Impacts on Environmental Values (Environmental Mitigation Procedures) (BC Ministry of Environment [MOE] 2014a),
- Develop with Care 2014: Environmental Guidelines for Urban and Rural Land Development in British Columbia (Government of BC 2014), and
- Environmental Best Management Practices for Urban and Rural Land Development in British Columbia (BC Ministry of Water, Land and Air Protection 2004).

The mitigation measures identified below are expected to reduce potential environmental impacts when applied during site preparation and development activities on the proposed lots. Tree removal will result in permanent habitat loss that cannot be completely avoided or alleviated with mitigation.

VEGETATION

Retention of native vegetation is recommended wherever feasible. Tree protection fencing should be installed to protect the drip and root zones of any retained trees near active construction areas.

It is recommended that areas disturbed by site preparation and project construction activities that are not part of a permanent road or residential footprint be replanted with native vegetation. Enhancement of the proposed lots is also recommended through the removal of invasive species and subsequent application of a native seed mix and installation of native plants. Table 4 details native plant species that are suitable for the area. Recommended plant density following invasive removal is 1 to 2 m² for shrubs and 3 m² for trees.

The purpose of using native species for revegetation is to reduce irrigation maintenance in the future. The optimal time for revegetation is in the fall, prior to the wet winter season. However, planting at any time of the year (with irrigation as needed) is acceptable to prevent invasive species.

Table 4. Recommended native vegetation species options for future enhancement.

Common Name	Species
Douglas-fir	<i>Pseudotsuga menziesii</i>
Arbutus	<i>Arbutus menziesii</i>
Oceanspray	<i>Holodiscus discolor</i>
Common Snowberry	<i>Symphoricarpos albus</i>
Salal	<i>Gaultheria shallon</i>
Dull Oregon-grape	<i>Mahonia nervosa</i>



INVASIVE SPECIES

It is recommended that invasive species on the Site be removed following practices in Table 5. Invasive species should be removed using the most appropriate methods at the correct time of year and be disposed of at an approved facility to avoid re-establishment or spread.. Following removal, re-seed bare soil with desirable, competing vegetation. Details of removal methods for the invasive species onsite are provided below in Table 5.

Table 5. Removal and disposal methods for invasive species

Species	Removal Method	Removal Timing	Plant Disposal
Himalayan blackberry	Can be removed by pulling or cutting the canes from the ground. If possible, dig out the roots, paying careful attention not to damage nearby vegetation.	Spring and early summer before they produce berries as canes that are cut as the plant is producing flowers are least likely to re-sprout.	Burned or placed in a bin and disposed of properly in a landfill. Do not compost.
English holly	English holly can be removed by hand pulling small seedlings or cutting mature trees at ground level removing all plant material.	Before flowering, to eliminate seed production.	Holly does not root again once removed, so it can also be piled to desiccate on site. Can be placed in a bin and disposed of properly in a landfill. Do not compost.
English ivy	Can be removed by hand pulling and cutting of vines. Roots should be pulled so no rooted portions re-grow.	Fall, when plants are easier to remove due to moist soil conditions.	Burned or placed in a bin and disposed of properly in a landfill. Do not compost.
Scotch broom	Avoid disturbing the soil which can stimulate dormant broom seeds to sprout. Small broom plants can be pulled easily from the ground by hand without disturbing the soil. Larger plants should be cut below the root crown using loppers or a pruning saw.	Mid-April through early June, when in flower and before its seed pods begin to open.	Placed in a bin and disposed of properly in a landfill or burning. Do not 'recycle' garden debris or compost.
Spurge Laurel	Spurge laurel can be removed by pulling small plants or cutting larger plants just below the soil. Spurge laurel stems may re-sprout after cutting and numerous seedlings may germinate so repeated site visits are necessary. Always wear gloves when handling spurge laurel because it produces a noxious substance which can cause severe eye and skin irritation. Avoid spreading berries during removal.	Can be removed year-round.	Removed plants should be placed in a bin and disposed of properly in a landfill. Do not transport inside an enclosed vehicle as the plants can cause respiratory irritation.



Mitigation measures to control and minimize the spread of invasive weeds on the site include:

- Clean all machinery before arrival onto the site to ensure that more weed seeds and other propagules (e.g., pieces of root) are not brought into the project area.
- If fill or topsoil is imported from external areas, ensure that it is from a weed-free source.

Soil should not be left exposed until landscaping. Disturbed areas should be seeded with fast growing vegetation such as a mix with a native clover or seed mix to compete with weed species, fix nitrogen and provide soil stabilization right after clearing.

WILDLIFE AND WILDLIFE HABITAT

Mitigation measures to minimize impacts of the proposed residential development on wildlife and wildlife habitat include:

- Vegetation clearing should be completed outside of the migratory bird window (prior to March 15th or after August 31st; Government of Canada 2021). If vegetation clearing is scheduled within the sensitive time period for breeding birds, a QEP should conduct nest search surveys a maximum of 2-3 days prior to the start of activities. If an active nest is discovered during nest searches or clearing activities, the nest will be subject to site-specific mitigation measures (e.g., protective buffer around the nest or unobtrusive monitoring) until the young have naturally fledged/left the area. Multiple nest sweeps may be required. Nest search areas include both vegetation and any onsite, man-made structures that are scheduled for removal.
- A raptor nest survey should be completed by a QEP prior to clearing. If clearing is scheduled between January 1 and August 15, occupied or active nests would be subject to the actions described above. If any eagle or osprey nests are observed in trees to be removed, note that a permit is required to remove an eagle or osprey nest regardless of occupancy.
- Avoid additional removal of established native trees or shrubs, where practical, except for identified danger trees that cannot be avoided.

EROSION AND SEDIMENT CONTROL

The primary focus of erosion and sediment control planning is erosion control; if there is no erosion then there is no sediment. Erosion control is far more cost effective to implement and manage than sediment control.

Mitigation options to minimize the potential effects of erosion and sediment movement on the natural environment include:

- Heed weather advisories and scheduling initial clearing work to avoid excessively rainy periods (>20 mm in 24 hours) that may result in high flow volumes and/ or increase erosion and sedimentation.
- No soil should be left exposed for more than one growing season. Disturbed areas should be seeded with fast growing vegetation such as a mix with a native clover or seed mix to



compete with weed species, fix nitrogen and provide soil stabilization right after vegetation removal.

- If erosion or sediment movement is observed during site preparation activities, silt fencing or straw wattles should be installed to direct sediment to a holding area or vegetated area to settle.
- Regularly inspect and maintain Erosion and Sediment Control measures for the duration of the project.

Measures must also be taken to prevent the risk of hazardous materials and contaminant spills, including oil, gas, and hydraulic fluid during construction. It is recommended that a large, labeled, mobile spill kit is kept onsite during construction works and that all construction equipment is kept in good working order without leaks.



7. CONCLUSION

The potential environmental impacts of the proposed rezoning and development at 2428, 2426 & 2420 Sooke Road have been presented in this EA report for rezoning. As development plans progress, implementation of the mitigation and restoration measures recommended in this report, including native plant installation and invasive species removal and the implementation of erosion and sediment controls during construction, will minimize the impacts of the proposed development on the environment. All works are to be completed in compliance with the Migratory Bird window.

Report Prepared By:

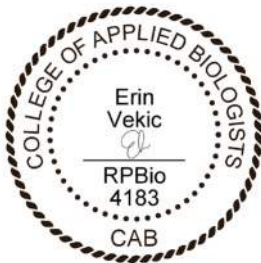


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APPENDIX A – SITE PHOTOGRAPHS

Photo 1. 2420 Sooke Rd parcel, view north, from Sooke Rd. April 10th, 2024.



Photo 2. View south from 2420 Sooke Rd. April 10th, 2024.



Photo 3. View north, disturbed/landscaped area of 2420 Sooke Rd. April 10th, 2024.



Photo 4. Remaining conifers in southern extent of disturbed area in 2420 Sooke Rd, view north. April 10th, 2024.



Photo 5. Dwelling on 2420 Sooke Rd. View north. April 10th, 2024.



Photo 6. Landscaped area and retaining walls on 2420 Sooke Rd. View west. April 10th, 2024.



Photo 7. Dwelling at 2426 Sooke Rd. View north. April 10th, 2024.



Photo 8. Forested area in northern extent of 2426 Sooke Rd. View northwest. April 10th, 2024.



Photo 9. Northeast view of disturbed/landscaped area on 2426 Sooke Rd. April 10th, 2024.



Photo 10. Invasive vegetation on 2426 Sooke Rd along western boundary. View southwest. April 10th, 2024.



Photo 11 Dwelling at 2428 Sooke Rd. November 15th, 2024.



Photo 12. Rear section at North end of 2428 Sooke Rd. November 15th, 2024.



Photo 13. Invasive Himalayan blackberry at North end of 2428 Sooke Rd. November 15th, 2024.



Photo 14. Mature Douglas fir in central section of 2428 Sooke Rd. November 15th, 2024.



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Urban & Wildland Forest Assessment & Mapping

Concrete Jungle Forestry Ltd.

2420, 2426, 2428
Sooke Road

**Proposed Multi-family Residential
Rezoning, Tree Resource Impact
Arborist Report**

Donald Skinner
Registered Professional Biologist (#827).
I.S.A. Certified Arborist (# PN5907A).
Tree Risk Assessment Qualified
November 21, 2024

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Urban & Wildland Forest Assessment & Mapping

Executive Summary:

Partially wooded R1 zoned 2420, 2426 and 2428 Sooke Road are the site of a proposed rezone to amalgamate and support construction of new multi-family residential. Because proposed construction would impact onsite and select private offsite and adjacent Sooke Road / Veteran's Memorial Parkway (VMP) frontage City of Colwood (Colwood) Urban Forest Bylaw No.1735, 2018 (amended April 29, 2022) (Bylaw) regulated trees ISA Certified and Tree Risk Assessment Qualified consulting arborist Donald Skinner of Concrete Jungle Forestry Ltd. (CJF) has been retained to create a multi-family rezoning application Arborist Report detailing;

- Potential construction / site servicing tree removal.
- Retainable offsite tree impact.
- Potential arborist construction oversight.

Proponents propose two multi-story residential buildings atop common parking garage. Open space between mixture of resident amenity, garage access and hardscape features.

Methodology:

CJF recorded 2420, 2426 and 2428 Sooke Road tree inventory measurements, notes, images June 8, 2023. A second visit March 29, 2024 estimated Ministry of Transportation and Infrastructure (MoTI) managed Sooke Road / VMP frontage rezoning site overlapping tree details.

CJF onsite retain / remove status based on trunk location versus proposed development;

- Garage footprint (48).
- Retaining wall tier (7).
- Servicing, Sooke Road curb+gutter (1).
- CJF adjacent private offsite retain / remove status based on:
 - Surveyed location.
 - Measured / estimated tree canopy / CRZ radii construction footprint overlap.
 - Expected construction disturbance.

Development Sooke Road and Veteran's Memorial Parkway (VMP) frontages owned / managed by BC Ministry of Transport and Infrastructure (MoTI)

Tree Impact Summary:

2420 Sooke Road / VMP MoTI frontage tree impact:

Development site and adjacent private trees to remove; 56 trees; 54 Bylaw 1735 protected, 2 unregulated.

- Nine (9); 2420 Sooke Road: Tree Nos.1 – 7, 12.
- 43; 2426 Sooke Road: Tree Nos. 8, 9, 11, 13 – 50, 951, 952.
- Four (4); 2428 Sooke Road: Tree Nos.954, 955, 956, 957. No.957 co-owner 749 Cecil Boggs signed permission required to remove.

Reason for removal:

- Garage footprint (48).
- Retaining wall tier (7).
- Servicing, Sooke Road curb+gutter (1).

2420 Sooke Road / VMP MoTI frontage:

Property line tree canopies and CRZs overlap garage foundation and residential floors.

- Residential floor clearance: canopy overhang reduction; $\leq 50\%$.
- Foundation excavation to property line: CRZ overlap loss; $\leq 50\%$.
- Review impact with MoTI before modifying tree overlap.

Continued Bigleaf Maple, Douglas-fir vitality dependent on:

- Stable soil hydrology – construction may alter current soil moisture regime.

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- Rootplate / canopy capable of supporting life processes – canopy loss reduces photosynthesis capacity.

If development significantly alters one / both decline may be initiated.

Building construction Arborist oversight required:

745 Cecil Blogg Drive Atlas Cedar NT.01;

- Foundation excavation, root and canopy prune.
- Condition monitor through construction.

2430 Sooke Road Douglas-fir No.953;

- Pad mounted transformer near outer edge of 11.5m radius CRZ.
- Driveway construction access clearance prune / armor.

2420 Sooke Road / VMP MoTI property line;

- Garage excavation.
- Canopy / root prune.
- Blasting methodology.

Services:

- *Water and sanitary drain.*

Other:

- *Realigned Stormwater Drain; Arborist to determine impact at BP.*
- *Electrical / Communications; Arborist to determine impact at BP.*

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Urban & Wildland Forest Assessment & Mapping

November 21, 2024

Doug Foord
President
Invictus Commercial Investment Corporation
(e) df@icic.us

Cc: Arturo Enriquez; Intern Architect, WA Architects Ltd. (e) aenriquez@wa-arch.ca

Re: 2420, 2426 2428 Sooke Road; Proposed Multi-family Residential Rezoning Tree Resource Impact Arborist Report

Introduction

Partially wooded R1 zoned 2420, 2426 and 2428 Sooke Road (Figure 1) are the site of a proposed rezone to amalgamate and support construction of new multi-family residential.

Figure 1: 2420, 3426, 2428 Sooke Road current condition Colwood GIS orthoimage.



Because proposed construction would impact onsite and select private offsite and adjacent Sooke Road / Veteran's Memorial Parkway (VMP) frontage City of

CONCRETE JUNGLE FORESTRY LTD.

Urban & Wildland Forest Assessment & Mapping

Colwood (Colwood) Urban Forest Bylaw No.1735, 2018 (amended April 29, 2022) (Bylaw) regulated trees ISA Certified and Tree Risk Assessment Qualified consulting arborist Donald Skinner of Concrete Jungle Forestry Ltd. (CJF) has been retained to create a multi-family rezoning application Arborist Report detailing;

- Potential construction / site servicing tree removal.
- Retainable offsite tree impact.
- Potential arborist construction oversight.

Proposed Construction:

Proponents propose two multi-story residential buildings atop common parking garage (Figure 2 dashed red line at building perimeter). Open space between mixture of resident amenity, garage access and hardscape features.

Figure 2: WA Architects plan detail; residential buildings A, B and surrounding features.



Methodology:

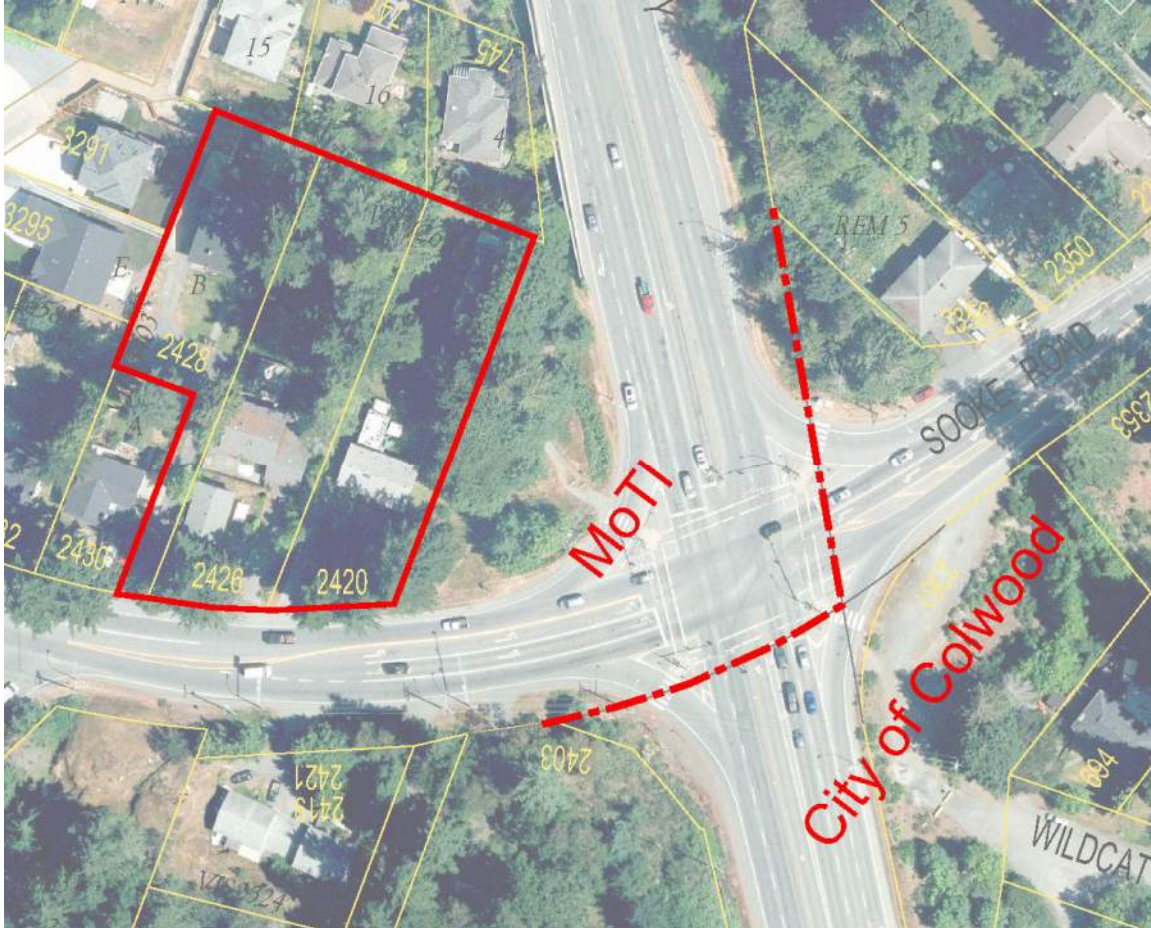
CJF recorded 2420, 2426 and 2428 Sooke Road tree inventory measurements, notes, images June 8, 2023. A second visit March 29, 2024 estimated Ministry of

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Transportation and Infrastructure (MoTI) managed Sooke Road / VMP frontage (Figure 3) rezoning site overlapping tree details.

Figure 3: MoTI lands adjacent 2420 – 2428 Sooke Road.



Tree Inventory Details:

CJF measured, calculated and rated inventory attributes for 56 impacted trees onsite and offsite privately owned trees:

- CJF ID numbers 1 – 50; 951 – 957;
 - 2420 Sooke Road; Nos.1 – 7, 10, 12.
 - 2426 Sooke Road; Nos.8, 9, 11, 13 – 50, 951, 952.
 - 2428 Sooke; 954 – 956.
 - Offsite privately owned;
 - 745 Cecil Blogg Drive NT. (No Tag) 01.
 - 2430 Sooke Road; No.953.
 - 2428 Sooke Road / 749 Cecil Blogg Drive shared; No 957.
- Common and Latin name.
- Pre-rezone ownership; 2420, 2426, 2428, 2430 Sooke Road, 745, 749 Cecil Blogg Drive.

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- Measured Diameter at Breast Height; single trunk DBH =diameter at 1.4m, multi-trunk consolidated DBH =square root (sum squared trunk diameters rounded to nearest centimeter).
- Critical Root Zone (CRZ) radius; circular land area surrounding trunk extending one meter beyond canopy drip line.
- Measured canopy radius.
- Health and Structure ratings; 'good', 'fair', 'poor' – reduction most often due to reduced live canopy density, irregular trunk / scaffold branch structure, significant deadwood.
- Bylaw protected status; 'yes', 'no'.
- Proposed action; remove, retain.
- Reason to remove.
- Relevant notes.

Tree Impact Determination:

- Inventoried trees, property boundaries surveyed mid-June 2023 (Powell & Associates BC Land Surveyors).
- CJF onsite retain / remove status based on trunk location versus proposed development;
 - Garage footprint (48).
 - Retaining wall tier (7).
 - Servicing, Sooke Road curb+gutter (1).
- CJF adjacent private offsite retain / remove status based on:
 - Surveyed location.
 - Measured / estimated tree canopy / CRZ radii construction footprint overlap.
 - Expected construction disturbance.

June 2023; CJF able to access all offsite trees except 745 Cecil Blogg Drive owned Cedrus NT.01 where it did not have permission to work. NT.01 estimated attributes / property line trunk offset based on observation from 2420 Sooke Road.

May 2023 MoTI staff confirmed; tagging / surveying frontage trees not permitted. March 29, 2024 CJF described:

- Location / count by species / diameter at breast height.
- 2420 Sooke Road average canopy / critical root zone impact.

Tree impact opinion presented in this report CJF's alone.

Impacted Tree Resource:

2420 Sooke Road, 12 impacted Bylaw 1735 protected trees.

- Three (3) Douglas-fir (*Pseudotsuga menziesii*); Nos.1, 2, 7.
- Three (3) Arbutus (*Arbutus menziesii*); Nos.3, 5, 10.

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- Two (2) Garry oak (*Quercus garryana*); Nos.4, 6.
- One (1) Pacific Dogwood (*Cornus nuttalli*); Nos.12.

Reference Images:

Image 1: Sooke Road frontage Douglas-fir / Arbutus mix.

Image 2: Rear yard Pacific Dogwood No.12.

2420 Sooke Road tree inventory table; Appendix 1a.

Trunk DBH, CRZ range, Health and Structure ratings summary:

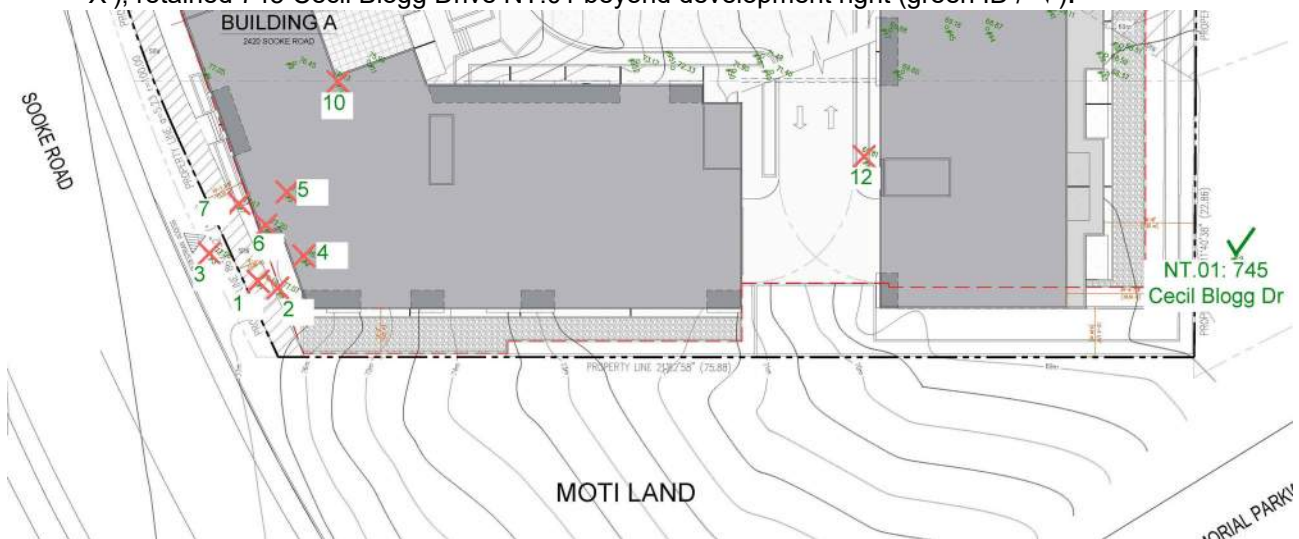
- Measured single and multi-trunk consolidated DBH range; 4.0cm (No.3 Arbutus) to 97cm (No.7 Douglas-fir).
- Canopy radius +1m CRZ range; 2.0m (No.3) to 8.0m (Douglas-fir Nos.1 and 7).
- Health and Structure ratings; 'good' and 'fair'. Fair structure due to; deciduous multi-scaffold branch / trunk form and trunk defect(s).

Proposed action; remove nine (9) 2420 Sooke Road trees (Figure 4).

Reason:

- Eight (8) garage footprint; Nos.1, 2, 4 – 7, 10, 12.
- One (1); servicing / curb+gutter; No.3.

Figure 4: 2420 Sooke Road; proposed garage footprint (dashed red) removals (green ID / red 'X'), retained 745 Cecil Blogg Drive NT.01 beyond development right (green ID / '✓').



2426 Sooke Road:

41 impacted Bylaw 1735 protected trees:

- Fourteen (14) Douglas-fir; Nos.13 -15, 21 – 23, 25, 28, 29, 33, 36, 45 – 47.

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- Ten (10) Western redcedar (*Thuja plicata*); Nos.24, 27, 30, 34, 35, 38 – 40, 42, 44.
- Seven (7) Pacific Dogwood; Nos.9, 17, 20, 31, 32, 37, 951.
- Six (6) Grand Fir (*Abies grandis*); Nos. 19, 41, 43, 49, 50, 952.
- Arbutus (3); Nos.8, 11, 16.
- One (1) Western Hemlock (*Tsuga heterophylla*); No.48.

Two (2) impacted unregulated:

- Western Hemlock; Nos.18, 26.

Reference images:

Image 3: Front yard Douglas-fir / driveway Arbutus No.13.

Image 4: Rear yard coniferous dominant forest view.

2426 Sooke Road tree inventory table; Appendix 1b.

Trunk DBH, CRZ range, Health and Structure ratings summary:

- Measured single and multi-trunk consolidated DBH range; 4.0cm (No.31 Pacific Dogwood) to 120cm (No.21 Douglas-fir).
- Canopy radius +1m CRZ range; 2.2m (No.31) to 11.0m (Nos.21 and 46 Douglas-fir).
- Health and Structure ratings; 'good', 'fair' and 'poor'. Fair and poor structure due to; deciduous multi-scaffold branch / leader, trunk form, other defect(s), excessive deadwood and general canopy decline.
- Unregulated Hemlock Nos.18, 26 DBH <60cm.

Proposed action; remove 43 2424 Sooke Road trees (Figure 5):

Reason;

- 38; garage footprint; Nos.8, 9, 11, 13 – 29, 35, 36, 38 – 50, 951, 952.
- Five (5); garage, retaining wall tier; Nos.30 – 34, 37.

Figure 5: 2426 Sooke Road; proposed garage footprint (dashed red) and retaining wall tier protected (green ID / red 'X') and unregulated (magenta ID / 'X') removals.



2428 Sooke Road; four (4) impacted Bylaw 1735 protected trees:

- Pacific Dogwood; No.954.

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- Western Redcedar; No.955.
- Douglas-fir; No.956.
- Bigleaf Maple (*Acer macrophyllum*) No.957 (749 Cecil Blogg Drive shared ownership).

Reference images:

Image 5: 2428 / 2426 Sooke Road property line Pacific Dogwood No.954.

Image 6: 2428 / 2426 Sooke Road property line Western redcedar No.955.

2428 Sooke Road tree inventory table; Appendix 1c.

Trunk DBH, CRZ range, Health and Structure ratings summary:

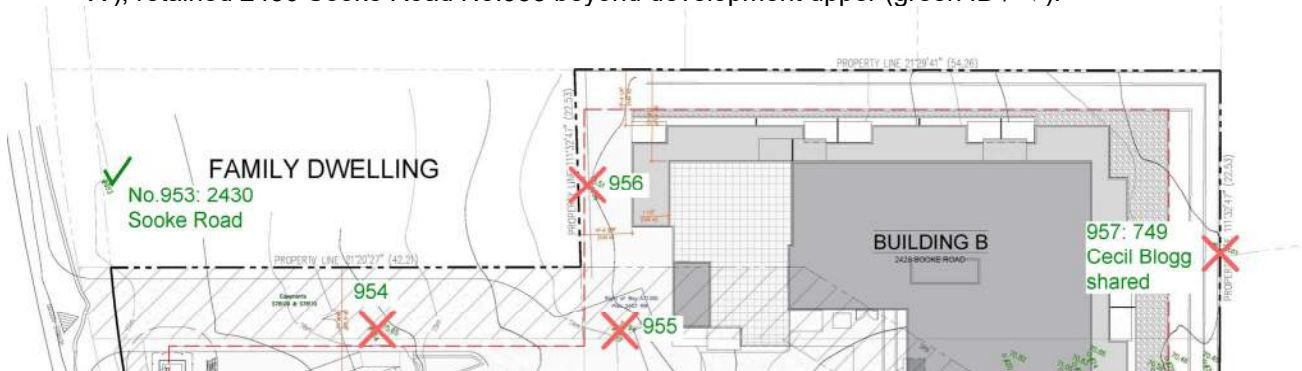
- Measured single DBH range; 31cm (No.954 Pacific Dogwood) to 107cm (No.956 Douglas-fir).
- Canopy radius +1m CRZ range; 5.2m (No.954) to 8.5m (No.956).
- Health and Structure ratings; 'good' and 'fair'. Fair structure due to No.955 previous heading cut / multi-leader form.

Proposed action; remove four (4) 2428 Sooke Road trees (Figure 6).

Reason:

- Two (2) garage footprint; Nos.954, 955.
- One (1) garage footprint, perimeter construction access; No.956.
- One (1) garage, retaining wall tier; No.957.

Figure 6: 2428 Sooke Road: proposed garage footprint (dashed red) removals (green ID / red 'X'), retained 2430 Sooke Road No.953 beyond development upper (green ID / '✓').



Offsite:

Two (2) impacted Bylaw 1735 protected trees retainable with protective measures:

- 745 Cecil Blogg Drive, Atlas cedar (*Cedrus atlantica*); NT.01 (Figure 4).
- 2430 Sooke Road, Douglas-fir; No.953 (Figure 6).

Reference images:

Image 8: 745 Cecil Blogg Drive, Atlas cedar NT.01.

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Image 9: 2430 Sooke Road, Douglas-fir No.953.

Offsite retained tree inventory table; Appendix 1d.

Trunk DBH, CRZ range, Health and Structure ratings summary:

- Measured single DBH range; 60cm (NT.01) to 90cm (No.953 Douglas-fir).
- Canopy radius +1m CRZs; 7.0m (NT.01) to 11.5m (No.953).
- Health and Structure ratings; 'good' and 'fair'. Fair structure due to NT.01 sinuous trunk, No.953 broken top.

Proposed action; retain Bylaw 1735 protected NT.01, No.953:

Reason:

- NT.01: 745 Cecil Blogg Drive Atlas Cedar (*Cedrus atlantica*) (Figure 4);
 - Estimated 3.0m trunk to 2420 fence offset + 3.0m fence to garage footprint offset.
 - Total building offset 6m.
 - Expected disturbance offset 3.0m; garage excavation to 745 Cecil Blogg / 2420 Sooke property line.
 - *To retain*; 6.0m radius canopy and 7.0m radius CRZ development overlap must be reduced.
 - *Conclusion: retain with measures*; project arborist to oversee:
 - Root / canopy prune.
 - *Condition monitor during construction.*
- No.953: 2430 Sooke Road Douglas-fir (Figure 6);
 - ~10m radius canopy, 11.5m radius CRZ.
 - 2428 Sooke Road panhandle driveway west property line offset; ~5.4m.
 - Driveway width: 4.6m; beneath canopy / within 11.5m radius CRZ.
 - Panhandle driveway access:
 - Construction vehicles.
 - Finished complex resident parking, garage.
 - 2430 Sooke Road residents.
 - *To retain*;
 - Driveway armor construction vehicle support.
 - Possible canopy lift prune to provide 4.0m large vehicle clearance.
 - Sooke Road curb+gutter; design to retain No.953 1st. 2nd order holding roots.
 - *Conclusion: retain with measures*; project arborist to oversee:
 - Canopy prune and driveway armor design, install and maintenance.
 - Pad mounted transformer install and underground connection to main.
 - Sooke Road curb+gutter design / construction.

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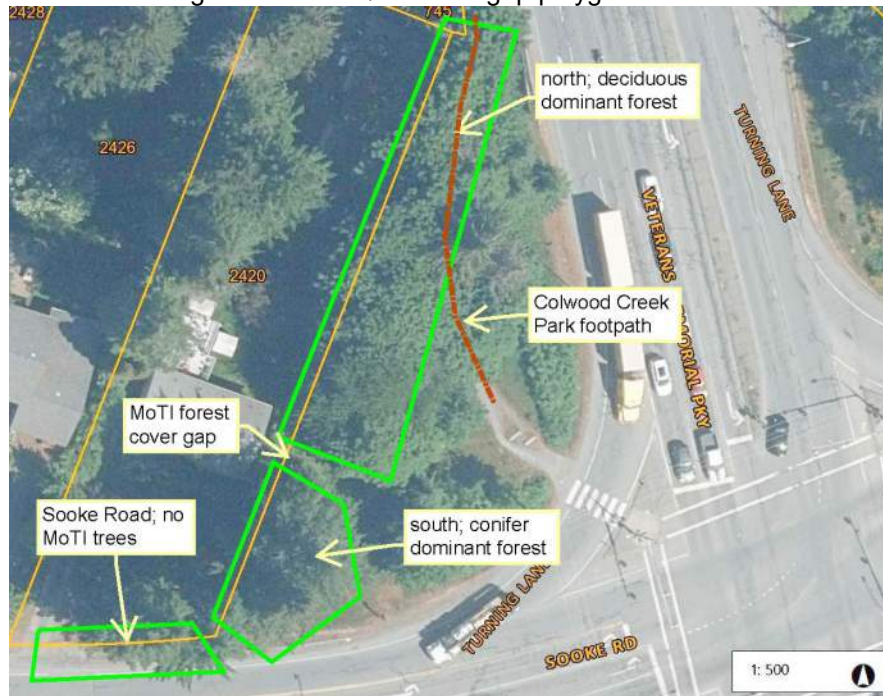
Veteran's Memorial Parkway Forest Trees:

West of Colwood Creek Park footpath, unsurveyed tree locations, Arborist Report considers all MoTI owned / managed.

CJF described two distinct VMP forest areas; north / south of break in continuous tree cover (Figure 7).

- North; native deciduous dominant.
- South; native conifer dominant.

Figure 7: VMP MoTI frontage forest north / south of gap polygons.



CJF March 29, 2024 west of footpath MoTI tree details:

North of gap; soil rich / moist, forest composed of;

- Eighteen (18) Bigleaf maple; DBH range 20 – 65cm.
- One (1) Pacific Dogwood; DBH 30cm.
- One (1) Douglas-fir DBH 15cm.
- One (1) Western Redcedar; DBH 100cm.
- One (1) non-native Fruiting Cherry (*Prunus sp.*); 45cm multi-trunk consolidated DBH.
- Unmaintained Common Laurel (*Prunus laurocerasus*) hedge; estimated height 6m, width 4-5m (Figure 7 not visible).
- *Large Bigleaf Maple:*

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- 50cm average DBH, 2420 Sooke Road / MoTI property line 5.0m canopy overhang (CRD GIS website measured¹), development site canopy +1m CRZ overlap 6.0m.

South of gap; soil dry:

- Four (4) Douglas-fir; DBH range 15 – 85cm.
- One (1) Western redcedar; DBH 40cm.
- One (1) non-native Fruiting cherry; two-trunk consolidated DBH 20cm.
- *Large Douglas-fir:*
 - 50cm average DBH, 2420 Sooke Road east property line 5.0m canopy overhang (CRD GIS website measured), development site canopy +1m CRZ overhang 6.0m.

Reference images:

Image 9: Veterans Memorial Parkway frontage north; deciduous / south conifer dominant forest trees.

Image 10: North; deciduous forest along 2420 / VMP property line, typical Bigleaf Maple trunk / scaffold branch structure.

Image 11: North of gap; VMP deciduous forest canopy overhang from middle 2420 Sooke Road.

Preliminary VMP frontage tree impact assessment:

North of gap; MoTI Bigleaf Maple, Douglas-fir expected development impact;

- Residential floor clearance; canopy overhang reduction; $\leq 50\%$.
- Foundation excavation to property line; CRZ overlap loss; $\leq 50\%$.

Continued Bigleaf Maple, Douglas-fir vitality dependent on:

- Stable soil hydrology – construction may alter current soil moisture regime.
- Rootplate / canopy capable of supporting life processes – live canopy loss reduces photosynthesis.

Consequence; if development significantly alters one / both decline may be initiated.

South of gap:

- Large Douglas-fir; if post-development most rootplate intact seasonally dry soil tolerant Fir may survive disturbance.
- Western redcedar; intolerant of significant root disturbance / soil moisture change.
- Fir, Cedar negatively impacted by blasting within CRZ – impact mitigation procedures required.

¹ [CRD Regional Map](#)

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Root loss stability reduction must also be considered.

- Large trees with spreading canopies more easily destabilized than small / narrow canopy specimens.
- Targets within one mature Douglas-fir tree length; proposed multi-family construction, Sooke Road / VMP, Colwood Creek Park trail.

VMP frontage tree retention benefits

- Visual / sound barrier between proposed development and traffic.
- Building east side cooling.
- Stormwater runoff reduction control.

Reader Caution:

- Actual canopy / CRZ development site overlap possibly more variable than report presented.
- Tree variability causes impact variability, description / mitigation requires legal survey and tree inventory measurements.
- Foundation excavation to property line needed for worker safety 2:1 slope.

Required 2420 / VMP MoTI property line Arborist oversight:

- Garage excavation.
- Canopy / root prune.
- Blasting methodology.

Site Services Impact:

Water and Sanitary Drain:

November 2024 McElhanney Conceptual Servicing Plan issued for rezoning has underground services entering site from Sooke Road (Figure 8). Existing stormwater easement through 2426 Sooke discharged.

Servicing Tree Impact:

Water and sanitary drain;

- 2420 / 2426 Sooke Road frontage onsite trees removed for construction, no new impact. Other than possible VMP frontage tree canopy / root pruning during install - *Arborist oversight required.*

Pad mounted transformer:

- Install location outer edge of 2430 Sooke Road Douglas-fir No.953 11.5m radius CRZ – minimal root disturbance expected – *Arborist oversight required.*

Realigned Stormwater Drain:

- New underground stormwater main beneath Sooke Road unlikely to impact VMP frontage trees. *Arborist to determine impact at BP.*

Electrical / Communications:

- Electrical drawing not reviewed. *Arborist to determine impact at BP.*

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Development site and adjacent private trees to remove; 56 trees; 54 Bylaw 1735 protected, 2 unregulated.

- Garage footprint (48).
- Retaining wall tier (7).
- Servicing, Sooke Road curb+gutter (1).

- Residential floor clearance: canopy overhang reduction; $\leq 50\%$.
- Foundation excavation to property line: CRZ overlap loss; $\leq 50\%$.
- Review impact with MoTI before modifying tree overlap.

- Stable soil hydrology – construction may alter current soil moisture regime.

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- Rootplate / canopy capable of supporting life processes – canopy loss reduces photosynthesis capacity.

If development significantly alters one / both decline may be initiated.

Building construction Arborist oversight required:

745 Cecil Blogg Drive Atlas Cedar NT.01;

- Foundation excavation, root and canopy prune.
- Condition monitor through construction.

2430 Sooke Road Douglas-fir No.953;

- Pad mounted transformer near outer edge of 11.5m radius CRZ.
- Driveway construction access clearance prune / armor.

2420 Sooke Road / VMP MoTI property line;

- Garage excavation.
- Canopy / root prune.
- Blasting methodology.

Services:

- *Water and sanitary drain.*

Other:

- *Realigned Stormwater Drain; Arborist to determine impact at BP.*
- *Electrical / Communications; Arborist to determine impact at BP.*

End Arborist Report:

Appendix 1a: 2420 Sooke Road Tree Inventory.

Tree ID	Common Name	Latin Name	Ownership	Consolidated DBH (cm)	12:1 CRZ Radius (m)	Canopy +1m CRZ (m)	Canopy Radius (m)	Estimated Height (m)	Health	Structure	Bylaw No.1735 Protected	Proposed Action	Reason to Remove	Notes
1	1 Douglas-fir	<i>Pseudotsuga menziesii</i>	2420 Sooke	58.0	7.0	8.0	7.0		good	good	yes	remove	garage	
2	2 Douglas-fir	<i>Pseudotsuga menziesii</i>	2420 Sooke	35.0	4.2	6.0	5.0		good	good	yes	remove	garage	
3	3 Arbutus	<i>Arbutus menziesii</i>	2420 Sooke	4.0	0.5	2.0	1.0	2.3	good	fair	yes	remove	servicing, curb / gutter	2 trunk at base, rezone ownership transfer; MoTI Sooke Rd frontage
4	4 Garry oak	<i>Quercus garryana</i>	2420 Sooke	12.5	1.5	6.0	5.0		good	fair	yes	remove	garage	all canopy north
5	5 Arbutus	<i>Arbutus menziesii</i>	2420 Sooke	9.0	1.1	3.5	2.5		good	good	yes	remove	garage	
6	6 Garry oak	<i>Quercus garryana</i>	2420 Sooke	5.0	0.6	3.0	2.0		good	fair	yes	remove	garage	
7	7 Douglas-fir	<i>Pseudotsuga menziesii</i>	2420 Sooke	97.0	11.6	8.0	7.0		good	fair	yes	remove	garage	2- trunk at base, candelabra trunk at 0.5m
8	10 Arbutus	<i>Arbutus menziesii</i>	2420 / 2026 Sooke	25.0	3.0	4.2	3.2		good	fair	yes	remove	garage	3 trunk at base
9	12 Dogwood	<i>Cornus nuttallii</i>	2420 Sooke	57.0	6.8	7.0	6.0		fair	fair	yes	remove	garage	3 trunk at base, lower trunk heartwood exposed

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Appendix 1b: 2426 Sooke Road Tree Inventory.

Tree ID	Common Name	Latin Name	Ownership	Consolidated DBH (cm)	12:1 CRZ Radius (m)	Canopy +1m CRZ (m)	Canopy Radius (m)	Estimated Height (m)	Health	Structure	Bylaw No. 1735 Protected	Proposed Action	Reason to Remove	Notes
1	8	Arbutus menziesii	2426 Sooke	6.5	0.8	2.5	1.5		good	good	yes	remove	garage	
2	9	Pacific Dogwood <i>Cornus nuttallii</i>	2426 Sooke	16.0	1.9	4.0	3.0		fair	good	yes	remove	garage	upper canopy decline
3	11	Arbutus menziesii	2426 Sooke	7.7	0.9	2.5	1.5		good	good	yes	remove	garage	
4	13	Douglas-fir <i>Pseudotsuga menziesii</i>	2426 Sooke	71.0	8.5	8.0	7.0		fair	fair	yes	remove	garage	thinned canopy, deadwood, irregular structure, heading cut 12m
5	14	Douglas-fir <i>Pseudotsuga menziesii</i>	2426 Sooke	87.5	10.5	9.0	8.0		good	fair	yes	remove	garage	heading cut 13m
6	15	Douglas-fir <i>Pseudotsuga menziesii</i>	2426 Sooke	73.0	8.8	9.0	8.0		good	fair	yes	remove	garage	heading cut 12m
7	16	Arbutus menziesii	2426 Sooke	12.5	1.5	4.0	3.0		good	good	yes	remove	garage	
8	17	Pacific Dogwood <i>Cornus nuttallii</i>	2426 Sooke	51.0	6.1	7.5	6.5		good	good	yes	remove	garage	2 trunk at base
9	18	Western Hemlock <i>Tsuga heterophylla</i>	2426 Sooke	50.0	6.0	7.0	6.0		good	good	no	remove	garage	
10	19	Grand Fir <i>Abies grandis</i>	2426 Sooke	40.0	4.8	6.0	5.0		good	good	yes	remove	garage	
11	20	Pacific Dogwood <i>Cornus nuttallii</i>	2426 Sooke	14.0	1.7	3.2	2.2		good	good	yes	remove	garage	
12	21	Douglas-fir <i>Pseudotsuga menziesii</i>	2426 Sooke	120.0	14.4	11.0	10.0		good	good	yes	remove	garage	
13	22	Douglas-fir <i>Pseudotsuga menziesii</i>	2426 Sooke	49.0	5.9	5.0	4.0		good	good	yes	remove	garage	
14	23	Douglas-fir <i>Pseudotsuga menziesii</i>	2426 Sooke	36.5	4.4	2.5	1.5		poor	fair	yes	remove	garage	
15	24	Western Redcedar <i>Thuja plicata</i>	2426 Sooke	30.3	3.6	4.5	3.5		good	good	yes	remove	garage	
16	25	Douglas-fir <i>Pseudotsuga menziesii</i>	2426 Sooke	38.0	4.6	6.0	5.0		good	good	yes	remove	garage	
17	26	Western Hemlock <i>Tsuga heterophylla</i>	2426 Sooke	45.0	5.4	4.0	3.0		good	fair	no	remove	garage	2 trunk at base
18	27	Western Redcedar <i>Thuja plicata</i>	2426 Sooke	45.0	5.4	5.5	4.5		good	good	yes	remove	garage	
19	28	Douglas-fir <i>Pseudotsuga menziesii</i>	2426 Sooke	74.0	8.9	7.0	6.0		good	good	yes	remove	garage	
20	29	Douglas-fir <i>Pseudotsuga menziesii</i>	2426 Sooke	65.0	7.8	7.5	6.5		good	fair	yes	remove	garage	broken top
21	30	Western Redcedar <i>Thuja plicata</i>	2426 Sooke	61.0	7.3	6.0	5.0		fair	fair	yes	remove	garage, retaining wall tier	2 trunk at 5m, thinned canopy
22	31	Pacific Dogwood <i>Cornus nuttallii</i>	2426 Sooke	4.0	0.5	2.2	1.2	3.2	good	fair	yes	remove	garage	
23	32	Pacific Dogwood <i>Cornus nuttallii</i>	2426 Sooke	7.2	0.9	3.2	2.2		good	fair	yes	remove	garage, retaining wall tier	
24	33	Douglas-fir <i>Pseudotsuga menziesii</i>	2426 Sooke	51.0	6.1	5.0	4.0		fair	fair	yes	remove	garage, retaining wall tier	thinning canopy, recent deadwood
25	34	Western Redcedar <i>Thuja plicata</i>	2426 Sooke	39.0	4.7	4.0	3.0		good	fair	yes	remove	garage, retaining wall tier	2 trunk at 1.2m
26	35	Western Redcedar <i>Thuja plicata</i>	2426 Sooke	80.0	9.6	6.0	5.0		good	fair	yes	remove	garage	broken top
27	36	Douglas-fir <i>Pseudotsuga menziesii</i>	2426 Sooke	63.0	7.6	8.5	7.5		good	good	yes	remove	garage	
28	37	Pacific Dogwood <i>Cornus nuttallii</i>	2426 Sooke	19.5	2.3	4.0	3.0		good	good	yes	remove	garage, retaining wall tier	
29	38	Western Redcedar <i>Thuja plicata</i>	2426 Sooke	46.5	5.6	7.0	6.0		good	fair	yes	remove	garage	
30	39	Western Redcedar <i>Thuja plicata</i>	2426 Sooke	93.0	11.2	9.0	8.0		good	poor	yes	remove	garage	2 trunk at 5m - included bark

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Appendix 1b continued: 2426 Sooke Road Tree Inventory Details, continued.

Tree ID	Common Name	Latin Name	Ownership	Consolidated DBH (cm)	12:1 CRZ Radius (m)	Canopy +1m CRZ (m)	Canopy Radius (m)	Estimated Height (m)	Health	Structure	Bylaw No.1735 Protected	Proposed Action	Reason to Remove	Notes
31	40 Western Redcedar	<i>Thuja plicata</i>	2426 Sooke	56.0	6.7	9.0	8.0		good	good	yes	remove	garage	
32	41 Grand Fir	<i>Abies grandis</i>	2426 Sooke	81.0	9.7	7.0	6.0		good	fair	yes	remove	garage	top dieback
33	42 Western Redcedar	<i>Thuja plicata</i>	2426 Sooke	36.0	4.3	6.5	5.5		good	good	yes	remove	garage	
34	43 Grand Fir	<i>Abies grandis</i>	2426 Sooke	62.5	7.5	6.0	5.0		fair	fair	yes	remove	garage	top dieback
35	44 Western Redcedar	<i>Thuja plicata</i>	2426 Sooke	51.0	6.1	6.0	5.0		good	good	yes	remove	garage	
36	45 Douglas-fir	<i>Pseudotsuga menziesii</i>	2426 Sooke	72.0	8.6	7.0	6.0		good	good	yes	remove	garage	
37	46 Douglas-fir	<i>Pseudotsuga menziesii</i>	2426 Sooke	112.0	13.4	11.0	10.0		good	good	yes	remove	garage	
38	47 Douglas-fir	<i>Pseudotsuga menziesii</i>	2426 Sooke	85.0	10.2	8.5	7.5		good	good	yes	remove	garage	
39	48 Western Hemlock	<i>Tsuga heterophylla</i>	2426 Sooke	75.0	9.0	6.5	5.5		good	good	yes	remove	garage	
40	49 Grand Fir	<i>Abies grandis</i>	2426 Sooke	66.0	7.9	6.0	5.0		fair	fair	yes	remove	garage	thinned canopy, deadwood
41	50 Grand Fir	<i>Abies grandis</i>	2426 Sooke	98.0	11.8	8.0	7.0		fair	fair	yes	remove	garage	thinned canopy, deadwood
42	951 Pacific Dogwood	<i>Cornus nuttalli</i>	2426 Sooke	18.5	2.2	5.0	4.0		good	good	yes	remove	garage	
43	952 Grand Fir	<i>Abies grandis</i>	2426 Sooke	74.0	8.9	6.0	5.0		fair	poor	yes	remove	garage	thinned canopy, deadwood, multi candelabra leaders

Appendix 1c: 2428 Sooke Road Tree Inventory Details.

Tree ID	Common Name	Latin Name	Ownership	Consolidated DBH (cm)	12:1 CRZ Radius (m)	Canopy +1m CRZ (m)	Canopy Radius (m)	Estimated Height (m)	Health	Structure	Bylaw No.1735 Protected	Proposed Action	Reason to Remove	Notes
1	954 Pacific Dogwood	<i>Cornus nuttalli</i>	2428 Sooke	31.0	3.7	5.2	4.2		good	good	yes	remove	garage	2 trunk at 2.2m
2	955 Western Redcedar	<i>Thuja plicata</i>	2428 Sooke	105.0	12.6	8.0	7.0		good	fair	yes	remove	garage	heading cut, vertical leaders at 10m
3	956 Douglas-fir	<i>Pseudotsuga menziesii</i>	2428 Sooke	107.0	12.8	8.5	7.5		good	good	yes	remove	garage, perimeter access	
4	957 Bigleaf Maple	<i>Acer macrophyllum</i>	2428 Sooke / 749 Cecil Blogg	40.0	4.8	5.5	4.5		good	good	yes	remove	garage, retaining wall tier	shared ownership - 749 Cecil Blogg owner signed permission to remove required

Appendix 1d: Offsite Private Tree Inventory Details.

Tree ID	Common Name	Latin Name	Ownership	Consolidated DBH (cm)	12:1 CRZ Radius (m)	Canopy +1m CRZ (m)	Canopy Radius (m)	Estimated Height (m)	Health	Structure	Bylaw No.1735 Protected	Proposed Action	Construction Arborist Oversight	Notes
1	NT.01 Atlas cedar	<i>Cedrus atlantica</i>	745 Cecil Blogg	60.0	7.2	7.0	6.0		good	fair	yes	retain	yes	no access - attributes estimated, 3m north of 2420 Sooke Road fence line, canopy / root prune to retain, condition monitor through construction
2	953 Douglas-fir	<i>Pseudotsuga menziesii</i>	2430 Sooke	90.0	10.8	11.5	10.5		good	fair	yes	retain	yes	broken top

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Urban & Wildland Forest Assessment & Mapping

Image 1: 2420 Sooke Road; front yard coniferous / deciduous mature tree resource,
June 8, 2024.



CONCRETE JUNGLE FORESTRY LTD.

Urban & Wildland Forest Assessment & Mapping

Image 2: 2420 Sooke Road; rear yard Pacific Dogwood No.12, June 8, 2024.



CONCRETE JUNGLE FORESTRY LTD.

Urban & Wildland Forest Assessment & Mapping

Image 3: 2426 Sooke Road; front yard Douglas-fir / driveway Arbutus No.12 lower right, June 8, 2024.



CONCRETE JUNGLE FORESTRY LTD.

Urban & Wildland Forest Assessment & Mapping

Image 4: 2426 Sooke Road; rear yard coniferous dominated forest, June 8, 2024.



CONCRETE JUNGLE FORESTRY LTD.

Urban & Wildland Forest Assessment & Mapping

Image 5: 2428 Sooke Road; 2428 / 2426 Sooke Road common property line Pacific Dogwood No.954, June 8, 2024.



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Urban & Wildland Forest Assessment & Mapping

Image 6: 2428 Sooke Road; 2428 / 2426 Sooke Road common property line Western redcedar No.955 (behind 2426 Sooke Road Western Hemlock), June 8, 2024.



CONCRETE JUNGLE FORESTRY LTD.
Urban & Wildland Forest Assessment & Mapping

Image 7: 745 Cecil Blogg Drive, Atlas cedar NT.01, June 8, 2024.



CONCRETE JUNGLE FORESTRY LTD.

Urban & Wildland Forest Assessment & Mapping

Image 8: 2430 Sooke Road, Douglas-fir No.953 (centre left), seen from 2428 Sooke Road, June 8, 2024.



CONCRETE JUNGLE FORESTRY LTD.

Urban & Wildland Forest Assessment & Mapping

Image 9: Veterans Memorial Parkway frontage north; deciduous (right $\frac{3}{4}$) / south conifer dominant forest (left $\frac{1}{4}$), March 29, 2024.



CONCRETE JUNGLE FORESTRY LTD.

Urban & Wildland Forest Assessment & Mapping

Image 10: Deciduous forest 2420 / VMP property line Bigleaf Maple trunk / leaf-off canopy development overlap (right), March 29, 2024.



CONCRETE JUNGLE FORESTRY LTD.

Urban & Wildland Forest Assessment & Mapping

Image 11: Deciduous forest 2420 Sooke Road / VMP property line leaf-on Bigleaf Maple development canopy overlap, June 8, 2024.





WA Architects Ltd.

| PRINCIPALS

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Site Adaptive Planning Approach

Project Address: 2420, 2426 & 2428 Sooke Road, Colwood

Project No.: 23026

Date: November 21, 2024

A comprehensive site analysis was carried out by a Qualified Environmental Professional, who completed an Environmental Impact Assessment Report of the Site, as well as, by a Qualified Arborist, who prepared a Tree Impact Report.

The EIA report states that no significant natural features or ecological sensitivities were detected on the Site during the assessment. With that in mind, recommendations were made for the protection of environmentally sensitive features and methods were provided to minimize impacts of the proposed works. These recommendations meet the environmental requirements in the City of Colwood's OCP and zoning by-laws and address provincial and federal laws.

The Site Adaptive Planning strategy for this Site will apply the following recommended mitigation and restoration measures during site preparation and development activities:

VEGETATION

- Replant areas that are not part of a permanent road or residential footprint with native vegetation.
- Remove invasive species and apply native seed mix and install native plants that are suitable for the area (see table below). This will reduce irrigation maintenance in the future.
- Revegetation will take into consideration the optimal time of year for planting, as well as for preventing the return of invasive species.

Recommended native vegetation species options for future enhancement.

Common Name	Species
Douglas-fir	<i>Pseudotsuga menziesii</i>
Arbutus	<i>Arbutus menziesii</i>
Oceanspray	<i>Holodiscus discolor</i>
Common Snowberry	<i>Symphoricarpos albus</i>
Salal	<i>Gaultheria shallon</i>
Dull Oregon-grape	<i>Mahonia nervosa</i>

INVASIVE SPECIES

- Remove invasive species with the most appropriate method, at the correct time of year and dispose of plant material correctly (see table below).
- Use mitigation measures to control and minimize the spread of invasive weeds on the site, including cleaning all machinery before arrival to site, ensuring all imported fill or topsoil is from a weed-free source, and seeding disturbed areas with fast growing native vegetation, as appropriate.

Table 5. Removal and disposal methods for invasive species

Species	Removal Method	Removal Timing	Plant Disposal
Himalayan blackberry	Can be removed by pulling or cutting the canes from the ground. If possible, dig out the roots, paying careful attention not to damage nearby vegetation.	Removal should occur in the spring and early summer before they produce berries as canes that are cut as the plant is producing flowers are least likely to re-sprout.	Burned or bagged and disposed of properly in a landfill. Do not compost.
English holly	English holly can be removed by hand pulling small seedlings or cutting mature trees at ground level removing all plant material.	Removal is best done before flowering to eliminate seed production.	Holly does not root again once removed, so it can also be piled to desiccate on site. Can be bagged and disposed of properly in a landfill. Do not compost.
English ivy	Can be removed by hand pulling and cutting of vines. Roots should be pulled so no rooted portions re-grow.	Removal should occur in the fall, when plants are easier to remove due to moist soil conditions.	Burned or bagged and disposed of properly in a landfill. Do not compost.
Scotch broom	Avoid disturbing the soil which can stimulate dormant broom seeds to sprout. Small broom plants can be pulled easily from the ground by hand without disturbing the soil. Larger plants should be cut below the root crown using loppers or a pruning saw.	Scotch broom removal should occur mid-April through early June, when in flower and before its seed pods begin to open.	Bagged and disposed of properly in a landfill or burning. Do not 'recycle' garden debris or compost.
Spurge Laurel	Spurge laurel can be removed by pulling small plants or cutting larger plants just below the soil. Spurge laurel stems may re-sprout after cutting and numerous seedlings may germinate so repeated site visits are necessary. Always wear gloves when handling spurge laurel because it produces a noxious substance which can cause severe eye and skin irritation. Avoid spreading berries during removal.	Can be removed year-round.	Removed plants should be bagged and disposed of properly in a landfill. Do not transport inside an enclosed vehicle as the plants can cause respiratory irritation.

WILDLIFE AND WILDLIFE HABITAT

- Do the clearing of vegetation outside of the migratory bird window (prior to March 15th or after August 31st; Government of Canada 2021).
- If vegetation clearing is necessary within the sensitive time period for breeding birds, conduct nest search surveys using a QEP. (Note that no active nests were found on the site at the time of the environmental assessment.)
- If an active nest is discovered during nest searches or clearing activities, follow the recommended site-specific mitigation measures (e.g., protective buffer around the nest or unobtrusive monitoring) until the young have naturally fledged/left the area.
- Conduct a raptor nest survey using a QEP prior to clearing if clearing is scheduled between January 1 and August 15.

EROSION AND SEDIMENT CONTROL

- Employ mitigation measures to minimize the potential effects of erosion and sediment movement, including paying attention to weather advisories to avoid clearing during excessively rainy periods (>20 mm in 24 hours), seeding



disturbed areas with fast growing vegetation and not leaving soil exposed for more than one growing season.

- If erosion or sediment movement is observed during site preparation activities, install silt fencing or straw wattles to direct sediment to a holding area or vegetated area to settle.
- Regularly inspect and maintain Erosion and Sediment Control measures for the duration of the project.

ADDITIONAL MEASURES

- Keep a large, labelled mobile spill kit onsite during construction works for hazardous materials and other contaminants, including oil, gas, and hydraulic fluid.
- Ensure all construction equipment is kept in good working order without leaks.



Invictus Commercial Investment Corp.

Real Estate Development Division

#204-605 Douglas Street
Victoria BC V8V 2P9
Office: 778.350.2620

Mairi Bosomworth
Planning Department
3300 Wishart Road
Victoria BC V9C 1R1

March 7, 2025

Dear Ms. Bosomworth:

Re: 2420 2426 2428 Sooke Road Neighbourhood Meeting

A neighbourhood meeting was held on March 6, 2025, at Olympic View Golf Club, 643 Latoria Rd. The meeting was held between the hours of 5:30 pm-7:30 pm to allow for convenient attendance.

Detailed postcards (attached) with meeting information were hand-delivered on February 25th, inviting all neighbours within the required 100-meter radius of the development. Postcards were mailed to the business owners of the three vacant sites under development on opposing corners.

On the evening of the neighborhood meeting, a total of seven neighbourhood guests were in attendance representing four properties. Three properties are adjoining our proposed development and one is located several homes north on Cecil Blogg Drive. The developer, realtor, and an employee were available to facilitate discussions regarding the development, using presentation boards displayed on easels.

All attendees communicated a resolution to the necessity of providing more housing. Two residents commented on a concern for additional cars parking on their street – Cecil Blogg Drive. We were able to alleviate their concerns with the number of parking and bike stalls that our development will offer. Two residents were concerned about their fence. Two residents liked the colours of the proposed building and one did not. Six residents indicated support for the development and one resident who is not an adjacent neighbour, [REDACTED] Cecil Blogg Drive, and is a [REDACTED], seemed uncertain.

Thank you.

Doug Foord
Invictus Commercial Investment Corp

Hello Neighbours.

New residential rental properties are currently being proposed in your neighbourhood.

Invictus Commercial Investment Corp. (ICIC) has submitted a rezoning application for the development of 171 rental units located at 2420-2428 Sooke Road, at the intersection of Sooke Road and Veterans Memorial Pky.

ICIC's development team has assembled three properties and created a multi-family residential rental development plan.

The proposed rezoning reflects the Colwood TGA1 Zone designated for the area.

We'd like to invite you to an information session, during which we will introduce our proposal and answer any questions.

Please join us to learn more about the proposed project.

Neighbourhood Information Session:

DATE: **Thursday, March 6, 2025**

TIME: **5:30 pm - 7:30 pm**

LOCATION: Olympic View Golf Club
Boardroom
643 Latoria Road





2420-2428 Sooke Road



ATTENDANCE FORM:[illegible]

Comment Form

Name:

[REDACTED]

Address:

[REDACTED] MARTY

	Yes	Maybe	No
--	-----	-------	----

Do you like the design?

☐☒☐

Additional Comment:

LIKE THE COLOURS

HARD TO TELL

Do you support this development?

DON'T LIKE ANY OF

☐☐☐

Additional Comment: THE DEVELOPMENTS

BUT IF WE MUST HAVE - THIS IS OK.

WORRIED ABOUT TRAFFIC LIGHT FOR

RESIDENTS TO EXIT ONTO VETERANS.

Thank you for your valuable feedback! POSSIBLE FENCE.

Comment Form

Name: [REDACTED]

Address: [REDACTED] CECIL BLOTT DR.

	Yes	Maybe	No
--	-----	-------	----

Do you like the design? CONTEMPORARY

☒☐☐

Additional Comment:

LARGE PARKING

CONTEMPORARY PARKING CECIL BLOTT DR.

RESIDENTIAL ON ONE SIDE PARKING 50000 R.V.

Do you support this development?

☐☐☐

Additional Comment:

Thank you for your valuable feedback!

Comment Form

Name: [REDACTED]

Address: [REDACTED] CBCU BHOGE DR .

	Yes	Maybe	No
--	-----	-------	----

Do you like the design?



Additional Comment:

Do you support this development?



Additional Comment:

Thank you for your valuable feedback!

Comment Form

Name:

Address:

Cecil Blogg.

Yes

Maybe

No

Do you like the design?

☐☒☐

Additional Comment:

Fence is concern.

Do you support this development?

☒☐☐

Additional Comment:

Thank you for your valuable feedback!

Comment Form

Name:

Address:

 86646

	Yes	Maybe	No
--	-----	-------	----

Do you like the design?

☒☐☐

Additional Comment:

Do you support this development?

☒☐☐

Additional Comment:

Thank you for your valuable feedback!

Rezoning Application RZ000014 for 2420/2426/2428 Sooke Road

Presented by Mairi Bosomworth, Senior Planner
Planning and Land Use Committee Meeting
April 7th 2024

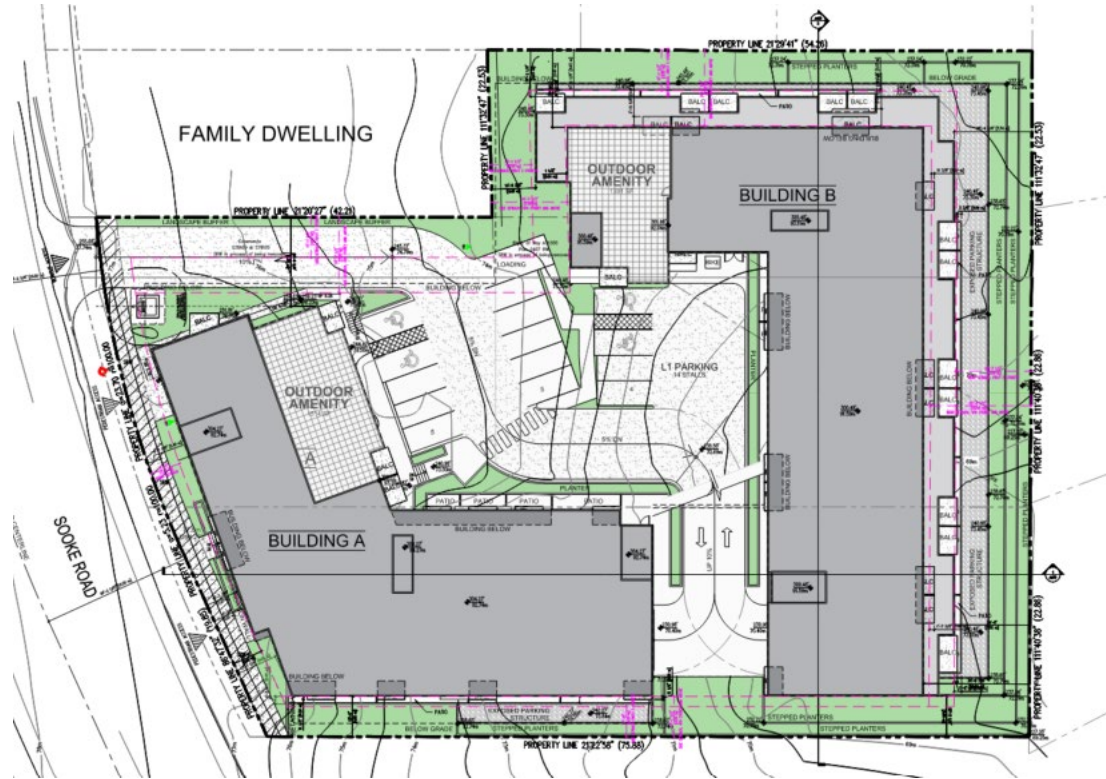
Site Context



- Currently zoned Residential 1 (R1)
- Designated as Transit Growth Area in OCP
- Development Permit Areas:
 - Environmental (Hillside)
 - Natural Hazard (Steeply Sloped)
 - Form and Character (Hillside)

Proposal

- Market rental apartment
- 171 units
- Two 6 storey buildings (fronting Sooke)
- Offering road dedication and frontage improvements along Sooke



OCP Review

Built Form Policies

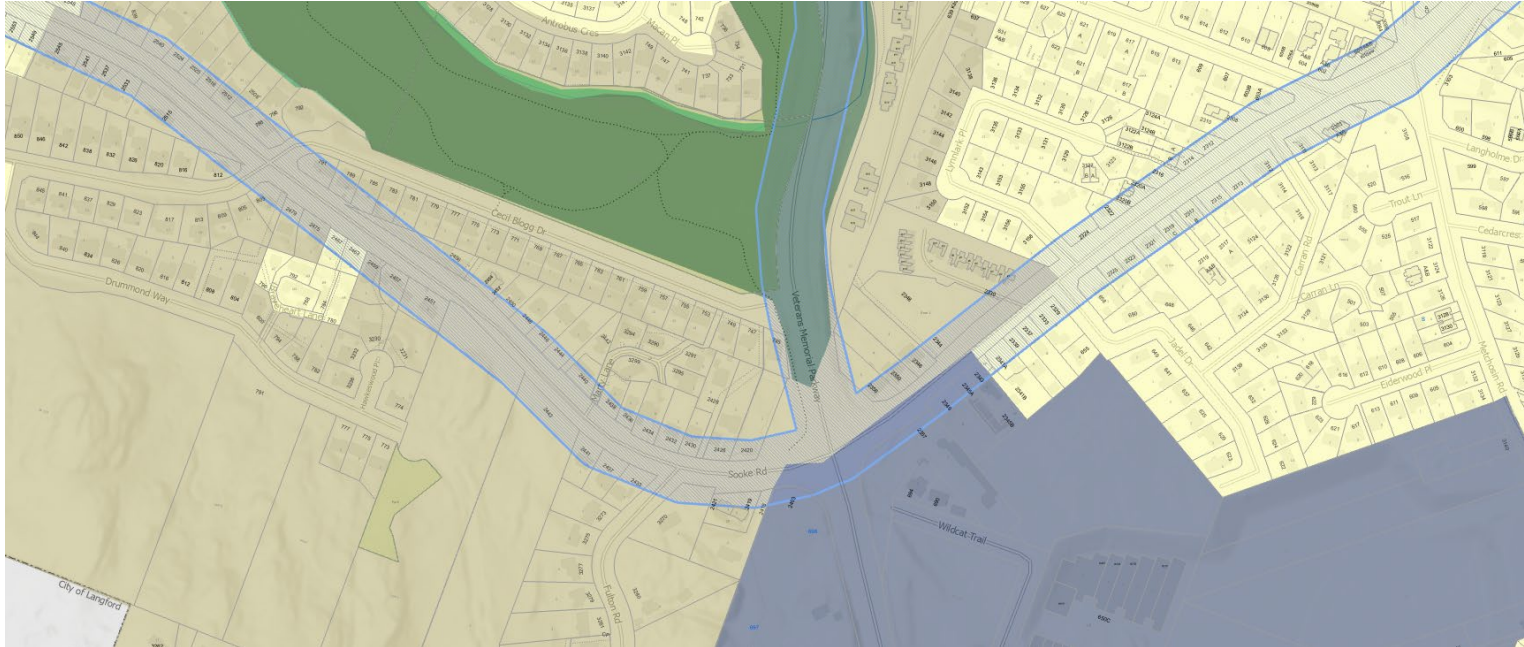


Transit Growth Areas support:

- Ground-oriented and low-rise buildings
- Up to 4 storeys and 6 in limited situations

OCP Review

Preferred Densities



- FAR of 2.5
- Providing access to and support for frequent transit
- Sensitively increasing density

OCP Review

Public Realm Policies



Proposals in Transit Growth Areas should demonstrate improved public realm for pedestrians and transit users

Transit Growth Area 1 Zone

- Consistent development along Sooke Road
- Variances requested to lot width and underground parking setback

Regulation	Attached Housing	Low-Rise Apartment	Mid-Rise Apartment
Minimum Lot Area	1,000 m ²	2,000 m ²	4,000 m ²
Minimum Lot Width	30 m	40 m	60 m
Maximum Floor Area Ratio	1.2	1.75	2.5
Maximum Lot Coverage for Structures and Buildings	35 %	40 %	50 %
Usable Open Space	5% (minimum)		
Maximum Building Height	Lesser of 3 storeys or 12 m	Lesser of 4 storeys or 16 m	Lesser of 6 storeys or 24 m
Front Setback	3 m (minimum); 6 m (maximum)		
Side Setback	4 m first 3 storeys (minimum)		
Rear Setback	7.5 m first 3 storeys (minimum)		
Setback for Underground Structured Parking and Parking Ramps from Any Lot Line	3 m (minimum)		

Communication/Timeline



Mar '24



Neighbourhood Consultation

Apr '25



Planning Land Use Committee

May '25



Council Decision

TBD



Public Notices

TBD



Public Input / Bylaw Readings



Staff Recommendation

Rezone the subject property to Transit Growth Area

Subject to the following conditions:

- I. A portion of the property's frontage is dedicated to the City of Colwood as road
- II. The applicant registers a Development Agreement on title

Options/Alternatives

Option 1: Staff recommendation

Option 2: Recommend that Council request staff to provide additional information

Option 3: Recommend to Council that the application be denied

Option 4: Another option as selected by Committee

Thank you!



**CITY OF COLWOOD
BYLAW NO 2052**

A BYLAW TO AMEND BYLAW NO. 151 BEING THE “COLWOOD LAND USE BYLAW, 1989”

The Council of the City of Colwood, in open meeting assembled, enacts as follows:

1. CITATION

This Bylaw may be cited as “**Colwood Land Use Bylaw No. 151, 1989, Amendment No. 218 (2420/2426/2428 Sooke Road), Bylaw No. 2052, 2025**”.

2. AMENDMENT

Bylaw No. 151, the “Colwood Land Use Bylaw, 1989” is amended as follows:

- a. Amend Schedule “A” (Zoning Map), by deleting from the Residential 1 (R1) Zone and adding to the Transit Growth Area 1 (TGA1) Zone, the properties shown in Schedule 1 attached to this Bylaw and described as “LOT 2 PLAN VIP12634 SECTION 77 ESQUIMALT DISTRICT”, and “LOT 3 PLAN VIP12634 SECTION 77 ESQUIMALT DISTRICT”, and “LOT B PLAN 45403 SECTION 77 ESQUIMALT DISTRICT”
- b. By adding the following properties to Table 1 of Schedule B:
 - a. LOT 2 PLAN VIP12634 SECTION 77 ESQUIMALT DISTRICT (2420 Sooke Road)
 - b. LOT 3 PLAN VIP12634 SECTION 77 ESQUIMALT DISTRICT (2426 Sooke Road)
 - c. LOT B PLAN 45403 SECTION 77 ESQUIMALT DISTRICT (2428 Sooke Road)

READ A FIRST TIME on the day of 2025

READ A SECOND TIME on the day of 2025

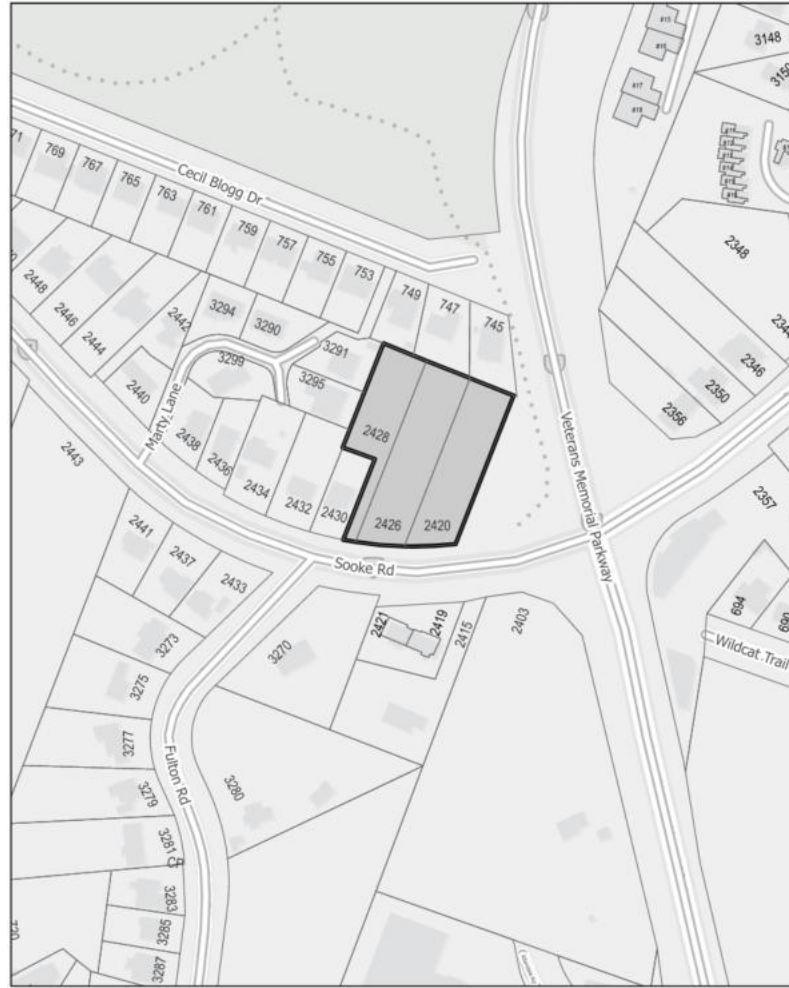
READ A THIRD TIME on the day of 2025

**RECEIVED APPROVAL OF THE
MINISTRY OF TRANSPORTATION
AND TRANSIT** on the day of 2025

ADOPTED on the day of 2025

Mayor

Corporate Officer

SCHEDULE 1

NOTICE OF AMENDING BYLAW

Colwood Land Use Bylaw No. 151, 1989, Amendment No. 218 (2420/2426/2428 Sooke Road), Bylaw No. 2052, 2025

MEETING:	Special Meeting of Council
DATE and TIME:	Thursday, May 1, 2025, 6:30pm
PLACE:	Council Chambers, 3300 Wishart Road, Colwood BC

NOTICE IS GIVEN that Council of the City of Colwood will consider First, Second, and Third Reading on Thursday, May 1, 2025, at 6:30pm in relation to the proposed **“Colwood Land Use Bylaw No.151, 1989, Amendment No. 218 (2420/2426/2428 Sooke Road), Bylaw No. 2052, 2025”**.

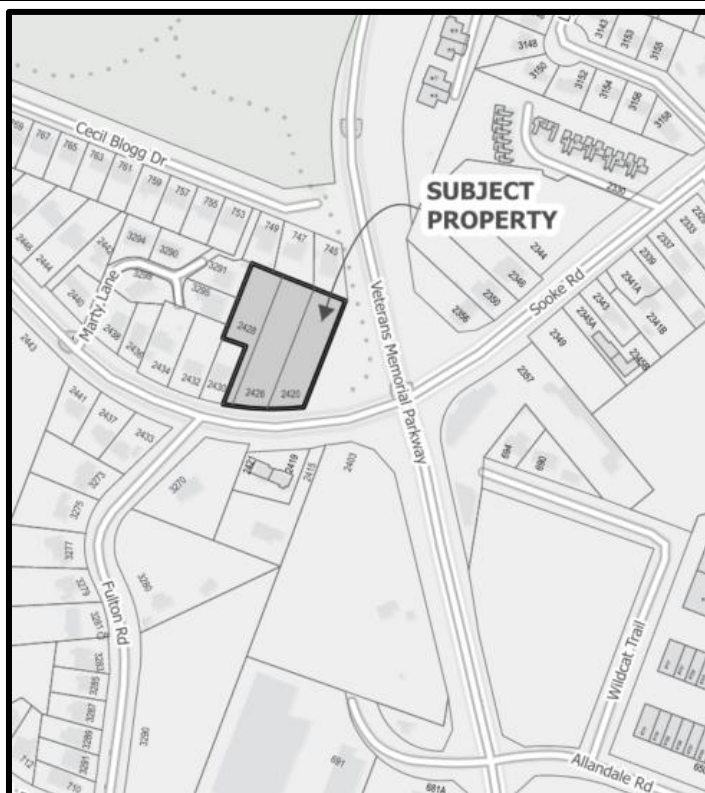
PURPOSE: This application proposes to rezone the subject properties from R1 to TGA1 zone to permit two 6-storey apartment buildings with 171 total units.

SUBJECT PROPERTY: This Bylaw applies to the lands legally described as:

LOT 2, SECTION 77, ESQUIMALT LAND DISTRICT, PLAN VIP12634 (2420 Sooke Road)

LOT 3, SECTION 77, ESQUIMALT LAND DISTRICT, PLAN VIP12634 (2426 Sooke Road)

LOT B, SECTION 77, ESQUIMALT LAND DISTRICT, PLAN VIP45403 (2428 Sooke Road)



INSPECTION OF MATERIALS: Copies of the proposed bylaw and related materials can be viewed at www.colwood.ca/news.

We want to hear from you!

WRITE TO US

The deadline for written submissions is 12:00 pm on the day of the meeting and must include your name and civic address.

- Email corporateservices@colwood.ca
- Mail/Drop-off: City of Colwood, 3300 Wishart Road, Colwood, BC V9C 1R1

SPEAK TO COUNCIL

In Person: The public is welcome to provide comments in person during the public participation portion of the meeting.

Electronically: To pre-register to speak please contact corporateservices@colwood.ca up until noon on the day of the meeting.

NEED MORE INFORMATION? Contact Development Services at (250) 294-8153 or planning@colwood.ca.

